

TO: Kenton County Planning Commission Members

FROM: Andy Videkovich, AICP, Director of Planning

RE: Staff Recommendations for the **December 04, 2025, Public Hearing**

DATE: November 21, 2025

PDS submits the attached report and recommendation for your review prior to the scheduled December 04, 2025, public hearing. This information relates to the following agenda item:

FILE NUMBER: PC-25-0015-MA

APPLICANT: DBL Law per Loren Wolff on behalf of Sierra Development LLC

LOCATION: An area of approximately 2.55 acres located at the southwest intersection of Turkeyfoot Road and Stevenson Road.

REQUEST: A proposed map amendment to the Erlanger Zoning Ordinance changing the described area from R-CPS (Residential Compact Subdivision) to NC (Neighborhood Commercial). The concept development plan proposes an approximately 6,372 square-foot convenience store and gas station with associated fuel pumps and canopy, 46 total parking spaces, stormwater detention area, two detached signs, landscaping, and one access point each from Turkeyfoot Road and Stevenson Road.

Staff will be prepared to address your comments and/or questions regarding the project during the public hearing. If you need additional information or clarification prior to that time, don't hesitate to contact me.

cc: K. Farrelly, Erlanger (Turkeyfoot Rd) WW LLC - Applicant
Loren Wolff, DBL Law - Contact
Sierra Development LLC - Contact

Joshua R. Wice, Ed.D., Executive Director

1840 Simon Kenton Way, Suite 3400 • Covington, Kentucky 41011-3693 • (859) 331-8980 • pdskc.org

Map Amendment

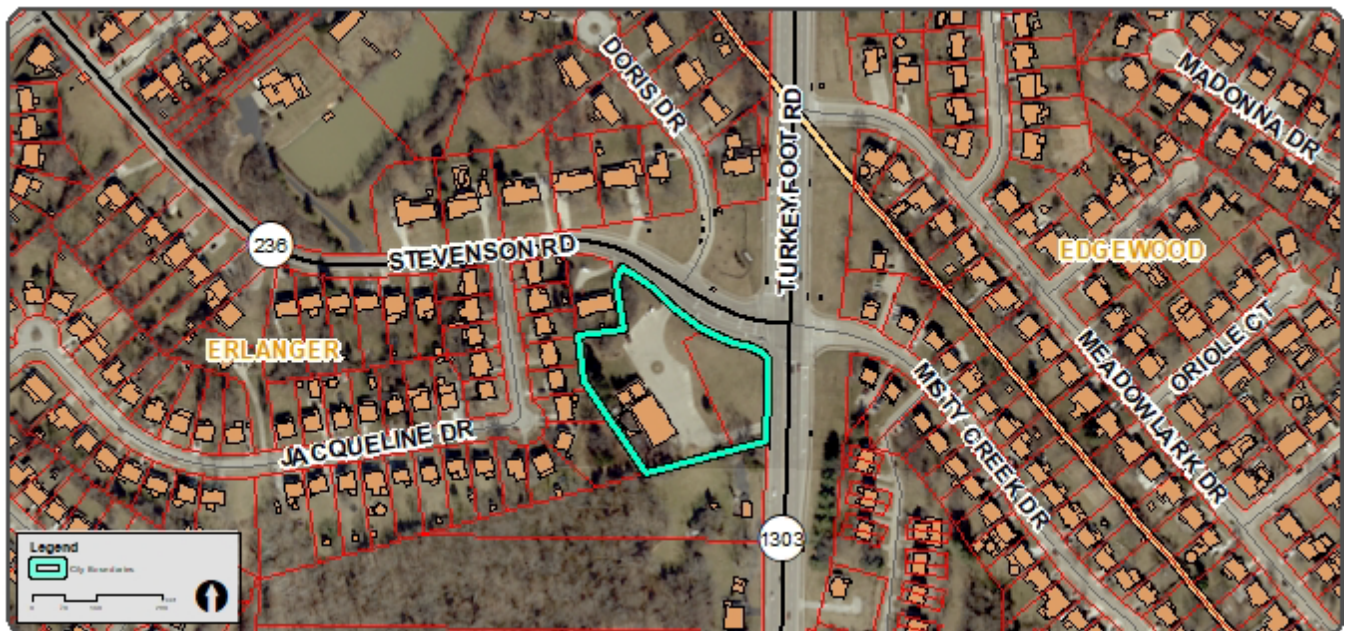
File Number: PC-25-0015-MA

Jurisdiction: City of Erlanger

Applicant: DBL Law per Loren Wolff on behalf of
Sierra Development LLCProject Manager: Cody Sheets, AICP, Principal
Planner

1. **Request:** A proposed map amendment to the Erlanger Zoning Ordinance changing the described area from R-CPS (Residential Compact Subdivision) to NC (Neighborhood Commercial). The concept development plan proposes an approximately 6,372 square-foot convenience store and gas station with associated fuel pumps and canopy, 46 total parking spaces, stormwater detention area, two detached signs, landscaping, and one access point each from Turkeyfoot Road and Stevenson Road.

Location: An area of approximately 2.55 acres located at the southwest intersection of Turkeyfoot Road and Stevenson Road.

**HISTORY & BACKGROUND**

1. In 1994 a proposed map amendment to the Erlanger Zoning Ordinance (Z-94-02-01-1) was made to change approximately five acres including the current site from R-1F (a single-family residential zone) to the R-3 Zone (a multi-family residential zone). The Planning Commission recommended to disapprove the proposed zone change as the proposed map amendment.

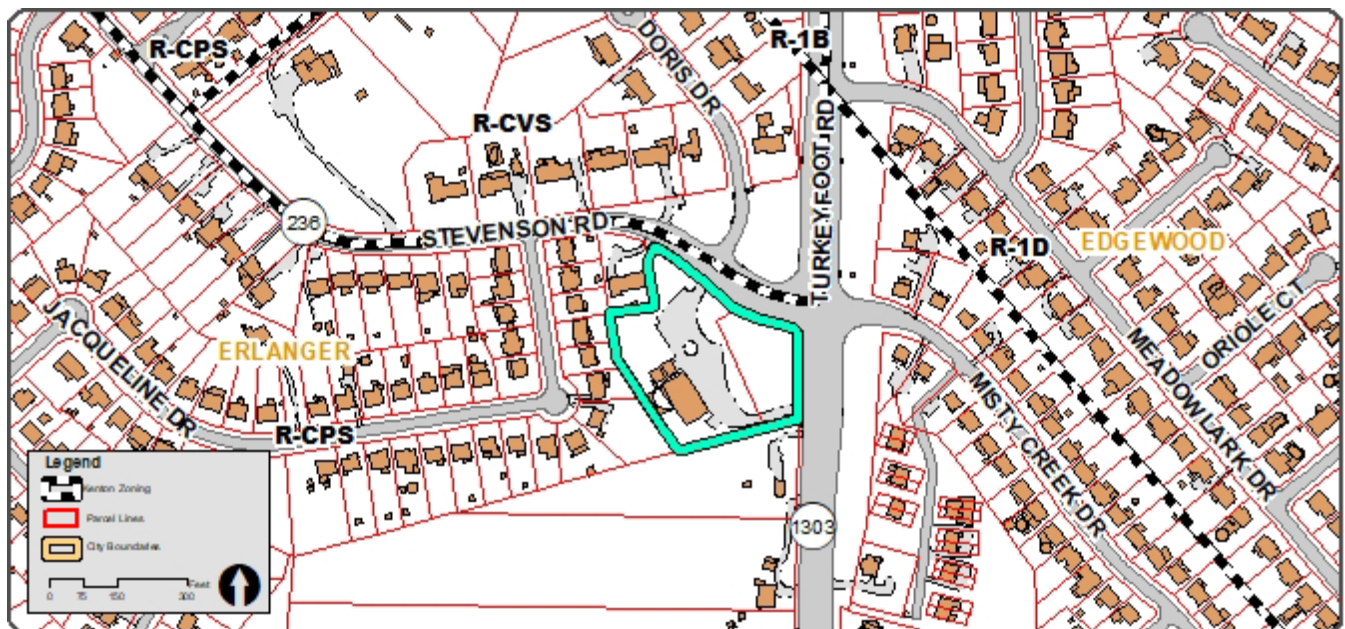
SITE CHARACTERISTICS

1. The site currently contains a daycare which is permitted as a conditional use in the R-CPS Zone. The existing site includes a primary building, accessory buildings, and playgrounds to the rear of the main building.
2. The surrounding area is predominantly suburban single- and multi- family residential.

ANALYSIS

1. Current Zoning

	ZONING	MINIMUM LOT SIZE	MAXIMUM DENSITY
CURRENT	R-CPS	6,000 sq. ft.	7.2 du/na
NORTH	R-CVS	9,000 sq. ft.	4.84 du/na
SOUTH	R-CPS	6,000 sq. ft.	7.2 du/na
EAST	R-CPS	6,000 sq. ft.	7.2 du/na
WEST	R-CPS	6,000 sq. ft.	7.2 du/na



2. Existing Land Use

	DESCRIPTION
CURRENT	Institutional
NORTH	Single-family and right of way
SOUTH	Single-family and recreation and open space
EAST	Multi-family and right of way
WEST	Single-family



PETITION REVIEW

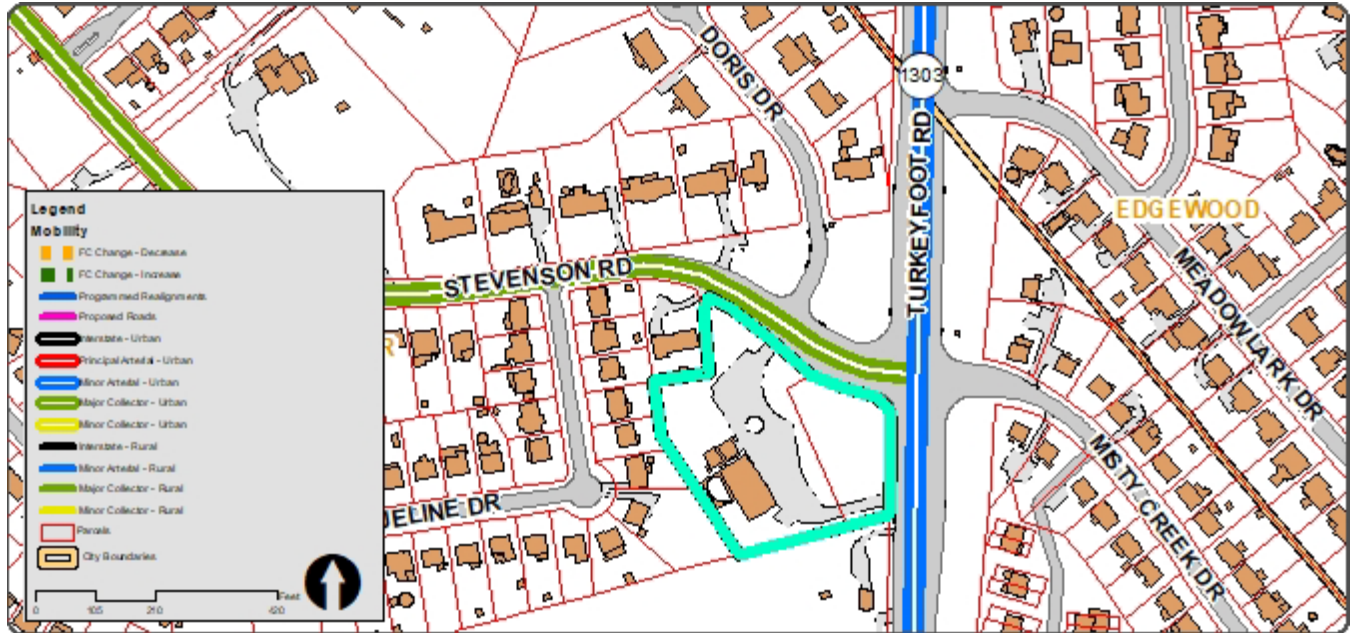
1. The R-CPS (Residential Compact Subdivision) Zone
 - a. Intended to accommodate single-family residential neighborhoods comprised of smaller lots. Because of the smaller lot sizes, subdivisions should contain common open space and amenities. This district may be used to provide a transition between lower density residential areas and multi-family, commercial, or central business district areas.
2. The NC (Neighborhood Commercial) Zone is
 - a. Intended to provide locations for a variety of commercial activities including convenience stores, retail shops, offices, and personal service businesses. Individual uses are typically under 20,000 square feet. This district may be distributed throughout the community at key intersections or in proximity to the neighborhood it serves. The district should be designed to promote walkability and connectivity to adjoining districts.
3. The submitted Concept Development Plan indicates the following:
 - a. Construction of a 6,372 square foot convenience store and gas station
 - b. 106 foot by 18-foot eight-inch concrete loading zone
 - c. 130 foot by 55 foot fueling canopy (7,150 square feet) with 16 passenger car fueling positions

- d. Two underground fuel storage tanks
- e. Air pump
- f. 46 parking spots including:
 - i. Eight parking spaces with future EV equipment and two air spaces with signage
 - ii. Two ADA accessible parking spaces with signage
 - iii. 10 feet width and 20 feet length standard parking dimensions
 - iv. Drive aisles that range from 24 feet wide to 30 feet wide
- g. Two detached pylon signs each with an individual height of 27 feet and 93 square feet of sign area
- h. A pick-up window and associated pick-up lane on the south side of the building which will allow for orders to be placed on an app and picked up at the window. No outside speaker box or menu board will be used for the pick-up lane and pick-up window
- i. Four and five foot concrete sidewalks for pedestrian walkways
- j. Proposed eight foot tall masonry trash enclosure with eight inch reinforced concrete pad
- k. A proposed right in and right out entrance off Stevenson Road with a proposed concrete porkchop island with mountable curbs
- l. A proposed right in, left, in, right out entrance off Turkeyfoot Road with a proposed concrete porkchop island with mountable curb
- m. Stormwater management area
- n. A 15 foot landscape buffer adjacent to residential areas including a proposed six foot vinyl privacy fence
- o. A black decorative horse fence located in the front yard along Turkeyfoot Road and Stevenson Road to match a fence located on the other three corners of the intersection which are located in public right-of-way, along the western edge of the property that borders 1007 Stevenson Road, and in what is the front yard along the southern edge of the property that borders 3426 Turkeyfoot Road
- p. Proposed retaining wall
- q. Grading plan
- r. Utility plan
- s. Circulation plan
- t. Landscaping plan
 - i. Interior site landscaping including 10 trees
 - ii. Foundation and fence/wall landscaping including 32 small trees and 132 large shrubs
 - iii. Perimeter landscaping
 - iv. Parking lot landscaping including one medium tree and two large shrubs with groundcover per island
 - v. Type II buffer yards
 - vi. Site element landscaping including screening around trash enclosure area and 21 shrubs
 - vii. Nine street trees
- u. Planting details and notes
- v. Traffic impact study
 - i. Summary of recommendations for Stevenson Road and Doris Court / Site Driveway #1
 - (1) Construct Site Driveway #1 (Stevenson Road and Doris Court) to permit right-in, left in, and right-out (3/4 access) movements of passenger cars. Control Site Driveway #1 with one stop sign
 - (2) Restripe leftmost westbound through lane into a left-turn lane with a storage length of 75 feet and a 50 foot taper
 - (3) Add "Do Not Block Intersection" signage and striping
 - ii. Summary of recommendations for Turkeyfoot Road and Steven Road / Misty Creek Drive
 - (1) Implementation of permissive + overlap phasing for the eastbound and westbound right-turn movements
 - (2) Restripe the eastbound through lane to be a shared through-right lane. Eastbound approach configuration is as follows: dual left-turn lanes, a shared through-right lane, and a right-turn only

- lane
- (3) Restripe the westbound through lane and right-turn lane so the through lane aligns with the rightmost through lane across the intersection
 - iii. Turkeyfoot Road and Site Driveway #2
 - (1) Construct Site Driveway #2 to permit right-in, left-in, and right-out (3/4 access) movements of passenger cars. Control Site Driveway #2 with one stop sign
 - (2) Construction of a southbound to westbound right-turn lane with a storage length of 75 feet and a 50 foot taper
 - w. Email from KYTC District 6 noting addendum to allow a left-turn lane into the Turkeyfoot access point to be a (3/4 access with no left-out) and restricting the Stevenson Road entrance to right-in and right-out
4. Section 4.05, C., 16. of the Erlanger Zoning Ordinance lists the following use-specific standards for gas stations:
- a. The sale of convenience food items, incidental automobile supplies, or accessories may be provided as an accessory use to a gas station.
 - b. A one-bay car wash may be provided as an accessory use to a gas station meeting the requirements of Section 4.05, C., 8., Car Wash.
 - c. Outdoor display and sales areas are permitted subject to the conditions of Section 4.05, J., 9., Accessory Buildings and Structures – Outdoor Display and Sales, On-Going.
 - d. The minimum distance between the canopy and the right-of-way shall be 12 feet. The minimum distance between the canopy and an interior lot line shall be 20 feet. Structures and all pump islands, compressed air connections, and similar equipment shall be set back a minimum of 20 feet from side and rear lot lines.
 - e. For a corner lot, curb cuts are restricted to one curb cut per street frontage.
 - f. Minor motor vehicle service is permitted as part of a gas station use.
 - g. Light fixtures mounted under canopies should be completely recessed into the canopy with flat lenses that are translucent and completely flush with the bottom surface (ceiling) of the canopy.
 - h. Lights should not be mounted on the top or sides (fascias) of the canopy.
 - i. Outdoor waste and recycling receptacles for customer use shall be provided, conveniently located, regularly serviced, and maintained.
 - j. Canopy height, as measured from the finished grade to the lowest point on the canopy fascia, should not exceed 13 feet 9 inches. The clearance height of canopies should be clearly indicated on the structure or through use of a headache bar.
 - k. The overall height of canopy fascia should not exceed one foot. The fascia shall be designed to block the direct view of the light sources and lenses from the property line.

COMPREHENSIVE PLAN

1. **Mobility:** Stevenson Road is a major collector. Turkeyfoot Road is a minor arterial. There are sidewalks located along both sides of Stevenson Road and Turkeyfoot Road.

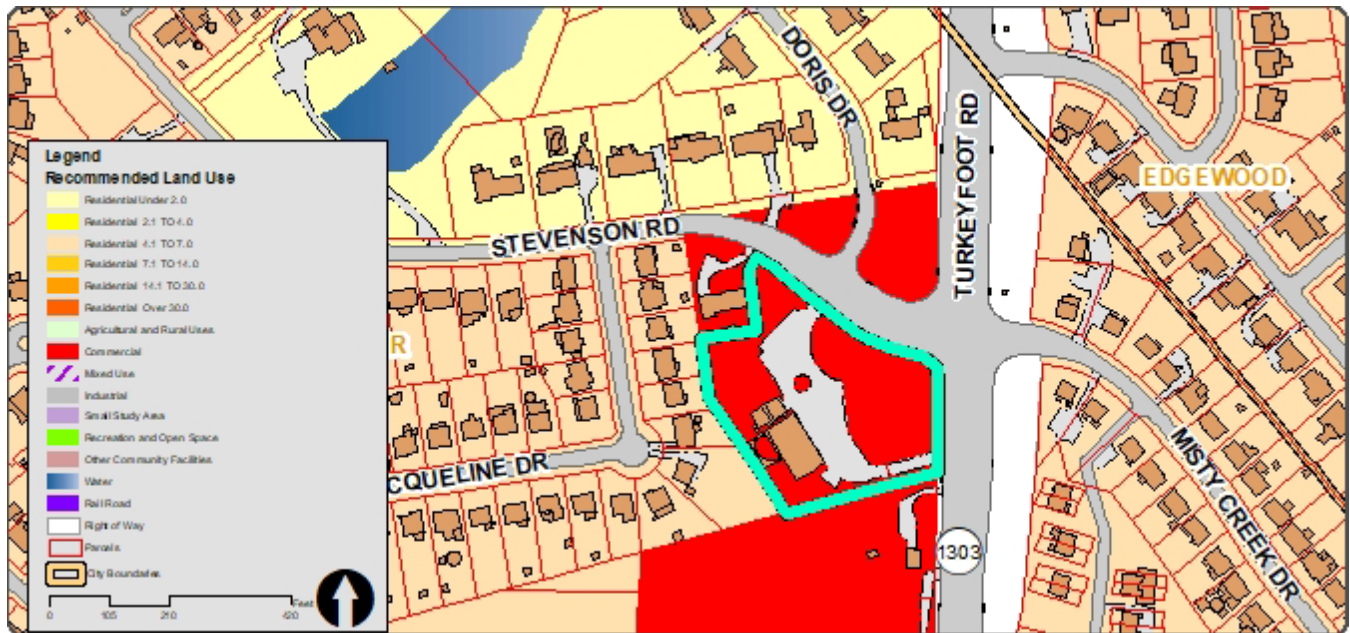


2. **Comprehensive Plan:** A full review of the Direction 2030: Your Voice. Your Choice. goals, objectives, recommendations, and tasks was conducted by staff. The full review is available in the issue file. The following is a summary of what staff finds to be the most relevant sections:
 - a. PDS staff finds that the submitted request is consistent with the following:
 - i. **Goals and Objectives**
 - ii. **Sub Areas (Suburban) Element**
 - iii. **Economy Element**

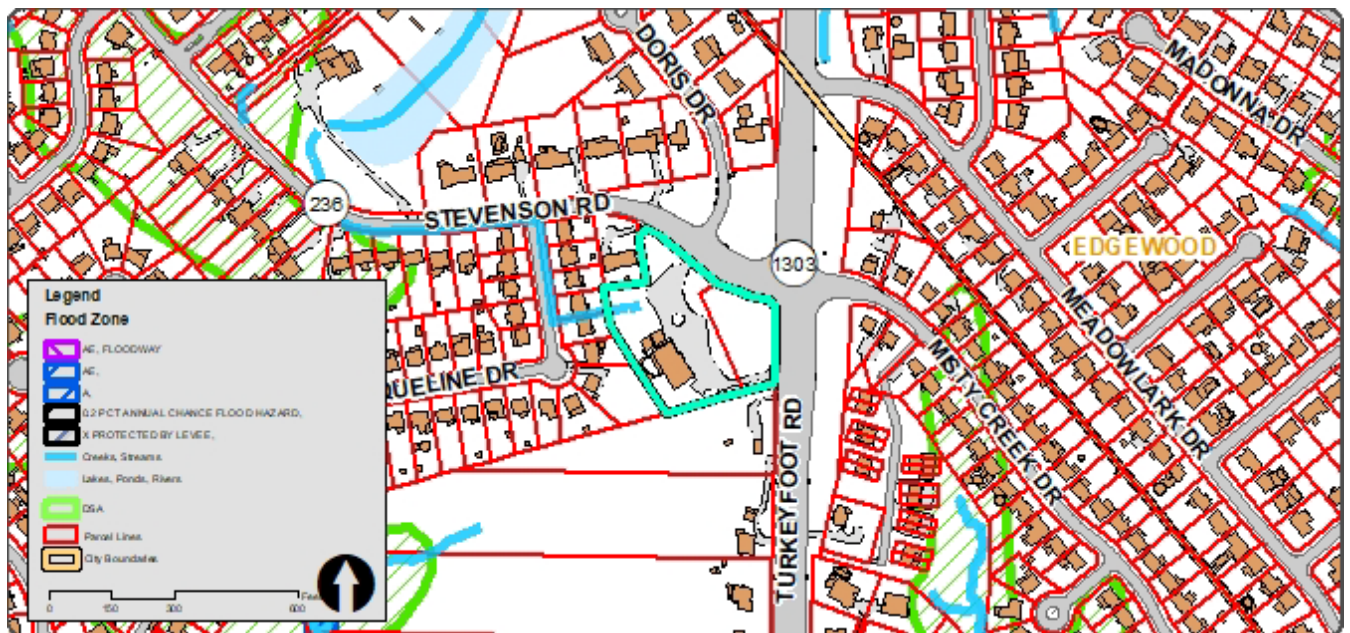
Staff findings: The proposed development will promote commercial redevelopment within close proximity to established residential neighborhoods and the access to major roadways can accommodate both pedestrian and vehicular consumers both locally and regionally. The property is situated at the intersection of a collector and arterial street with a nearby small commercial development located a half mile to the northwest.

3. **Recommended Land Use**

	DESCRIPTION
CURRENT	Commercial
NORTH	Commercial
SOUTH	Commercial
EAST	Residential 4.1-7.0 du/na
WEST	Residential 4.1-7.0 du/na and commercial



- There is the end of a small blue line stream along the western edge of the property. The site does not contain any DSA designated areas.



Staff findings: The proposed development is generally consistent with the Recommended Land Use map which identifies the site for commercial development. The Recommended Land Use map states that these areas are designated in locations with good levels of access to the transportation system, utilities, and the residential areas they serve. The intensity and density of areas designated as commercial will vary depending on its location within the county and the area which it is intended to serve.

STATE STATUTE

1. KRS 100.213 states that before any map amendment is granted, the planning commission or the legislative body or fiscal court must find that the map amendment is in agreement with the adopted comprehensive plan, or, in the absence of such a finding, that one (1) or more of the following apply and such finding shall be recorded in the minutes and records of the planning commission or the legislative body or fiscal court:
 - a. That the existing zoning classification given to the property is inappropriate and that the proposed zoning classification is appropriate;
 - b. That there have been major changes of an economic, physical, or social nature within the area involved which were not anticipated in the adopted comprehensive plan and which have substantially altered the basic character of such area.

STAFF RECOMMENDATION: Favorable recommendation on the proposed map amendment to the Erlanger Zoning Ordinance changing the described area from R-CPS to NC.

SUPPORTING INFORMATION/BASES FOR STAFF RECOMMENDATION

1. The proposed map amendment is generally in agreement with the adopted comprehensive plan. The proposed development will promote commercial redevelopment within close proximity to established residential neighborhoods and the access to major roadways can accommodate both pedestrian and vehicular customers both locally and regionally. The existing commercial site is a conditional use within the R-CPS Zone but the proposed map amendment will allow for commercial redevelopment in an area identified as a future commercial corridor. The proposed map amendment is also in agreement with the recommended land use designation which identifies the site commercial.
2. The submitted Concept Development Plan meets the minimum requirements of the Erlanger Zoning Ordinance except for the following:
 - a. Table 7.3 of the Erlanger Zoning Ordinance lists allowed fences in the Neighborhood Commercial Zone which states that wood or other fences, more than 50% open are subject to the following requirements:

TABLE 7.3 - FENCE TYPES LIMITED																		
<div>“X” means that the fence type is permitted.</div> <div>“-” means that the fence type is not permitted.</div> <div>Maximum heights are in feet</div>	ZONING DISTRICTS																	
	RESIDENTIAL							COMMERCIAL					EMP		OTHER			SPECIAL
	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	COND USE	ROC	NC	CC	HC	BP	FI	GI	CO	MU	INST	PUD
d. Wood or other, more than 50% open	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	The type,
Maximum Height, Front	-											4 feet		-				
Maximum Height, Side	6 feet [1] [2]											7 feet			8 feet	6 feet	8 feet	
Maximum Height, Rear																		

The submitted Concept Development Plan indicates a black decorative horse fence located in the front yard along Turkeyfoot Road and Stevenson Road to match a fence located on the other three corners of the intersection which are located in the public right-of-way, along the western edge of the property that borders 1007 Stevenson Road, and in what is the front yard along the southern edge of the property that borders 3426 Turkeyfoot Road. This will require a Board of Adjustment hearing to request an appeal to allow a wooden fence more than 50% open to be located in the front yard otherwise the three fences will not be permitted.

- b. Section 11.09 of the Erlanger Zoning Ordinance lists allowed signs in the Neighborhood Commercial Zone which states that detached principal signs are subject to the following requirements:

TABLE 11.1 - PERMITTED SIGNS									
ZONING DISTRICT	SIGN TYPE	MAXIMUM NUMBER ALLOWED	MAXIMUM AREA (SQ FT)	MAXIMUM SIGN HEIGHT (FT)	ILLUMINATION	CHANGEABLE COPY	MINIMUM SETBACK (FT)		ADDITIONAL REGULATIONS
							STREET	OTHER PROPERTY LINE	
NC, BP	Detached Principal	1 per street frontage	25	20	Concealed source	Automatic - Can't exceed 25% of the sign area	5	5 - 50 feet from the nearest single-family residential district	

The Concept Development Plan shows two proposed pylon signs which as proposed will require Board of Adjustment approval or must meet the requirements listed in Table 11.1.

ADDITIONAL INFORMATION

1. While not required on the Concept Development Plan, if approved, the following information is required with final development plan applications:
 - a. Table 4.1 of the Erlanger Zoning Ordinances lists permitted and conditional uses in the NC Zone including a Drive Up or Drive Through Facility as a conditional use. The proposed pick-up window and pick-up lane will require a conditional use approval from the Erlanger Board of Adjustment.
 - b. Section 4.05, C., 16. of the Erlanger Zoning Ordinance lists use-specific standards for gas stations including requirements related to light fixtures on canopies, canopy height not to exceed 13 feet nine inches, and that the overall height of canopy fascia should not exceed one foot. The clearance height of canopies should also be clearly indicated. The submitted concept development plan does not show lighting details or the height or design of the canopy but if approved this information will need to be submitted as part of the zoning approval process.
 - c. Section 7.05 sets the standards for site lighting including minimum and maximum footcandles throughout the site and at property lines as well as design details. Additional information, including a photometric plan, will need to be submitted to determine compliance with these regulations.
 - d. Table 7.8 and 7.9 of the Erlanger Zoning Ordinance lists required buffer yard types for developing commercial uses adjacent to residential uses including architectural and vegetative and vegetative exclusively. In areas where a six foot tall solid fence (less than 50% open) cannot be provided as an allowable type a minimum 30 foot wide vegetative buffer yard shall be provided. Section 7.07, G. lists alternative compliance options under conditions where a strict interpretation of the requirements of this Section may be either physically impossible or create practical difficulties, an alternative compliance procedure may be used to maintain the spirit rather than the literal

interpretation of the Ordinance. The proposed solution must equal or exceed standard landscaping requirements. Requests to the Zoning Administrator for use of alternative landscaping schemes are justified only when one or more of the following conditions apply:

- i. The site involves space limitations or unusually shaped parcels
- ii. Topography, soil, vegetation, or other site conditions are such that full compliance is impossible or impractical
- iii. Due to a change of use of an existing site, the required buffer is larger than can be provided
- iv. Safety considerations are involved; or
- v. Existing utility lines or easements complicate the placement of required plant materials

The bufferyards to the west and south are currently not meeting these requirements. Additional information is required to determine compliance with the landscaping regulations.

- e. Section 8.06 sets requirements for storm water management including downspouts, drains, and sump pumps and encourages low impact design strategies. Additional details will need to be submitted as well as compliance with SD1.
- f. Section 8.09 sets forth standards for the excavation, movement of soil, tree removal, and erosion and sedimentation control. Sufficient information will need to be submitted to determine compliance with these regulations.
- g. Section 10.17, B., 2. states that all drive aisles used to access dumpsters shall be paved with heavy duty asphalt or concrete consistent with the truck parking standards in Appendix 15.03. The final development plan will need to show the appropriate heavy duty asphalt or concrete used to access the dumpsters.
- h. Section 11 provides the type, location, and height of all signs permitted within the NC Zone. All signage details will need to be submitted with the final development plan submission.
- i. Section 4.3-2 of the Kenton County Subdivision Regulations state that all stormwater drainage systems shall comply with the Northern Kentucky Regional Storm Water Management program Rules and Regulations of Sanitation District No. 1 (SD1's Storm Water Regulations). SD1 reviews developments that disturbs one acre of land or greater. Sufficient information will need to be submitted with the final development plan.



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November 6, 2025

Planning and Development Services
1840 Simon Kenton Way, Suite 3400
Covington, KY 41011

Re: Application for Zoning Map Amendment for 3410 Turkeyfoot Road, Erlanger, KY 41018 (PIDN: 0163005044.00 & 0163005044.02) (the "Property")

To Whom It May Concern:

On behalf of Wawa, Inc. ("Wawa"), we respectfully submit this Map Amendment Application ("Application") to change the zoning 3410 Turkeyfoot Road, Erlanger, KY (the "Property") from Residential Compact Subdivision ("R-CPS") to Neighborhood Commercial ("NC") for the proposed development of a Wawa, Inc. ("Wawa").

Wawa is a nationally recognized privately held, family and employee owned, chain of convenience stores and gas stations. Wawa is known for its freshly prepared foods, beverages, coffee, and fuel services. The average Wawa employs thirty five (35) to forty (40) people and the average employment lasting seven (7) years. Wawa is known for its community engagement, supporting local neighborhoods through The Wawa Foundation and Wawa Community Care initiatives that focus on health, hunger relief, and honoring everyday heroes.

As discussed in more detail in the enclosed Concept Development Plan, the proposed rezoning satisfies the criteria for approval and aligns with the applicable standards and policies under the Zoning Ordinance for the City of Erlanger, Kentucky ("Zoning Ordinance") and the Direction 2030 Comprehensive Plan (the "Comprehensive Plan"). No variances or waivers are being sought at this time.

In addition to the Concept Development Plans, we submit the following materials in support of this Application:

- Site Plan
- Governance Plan
- Grading Plan
- Utility Plan
- Circulation Plan
- Planting Plan


Dressman Benzinger LaVelle psc
Attorneys at Law

Submission Letter
Application for Zoning Map Amendment
3410 Turkeyfoot Road, Erlanger, KY 41018

- Planting Details and Notes
- Traffic Impact Study

We respectfully request approval of the rezoning to NC, allowing Wawa to maximize the potential of this site and contribute positively to the local community. Please feel free to contact us with any questions or requests for additional information.

Sincerely,

A handwritten signature in dark ink, appearing to read "Loren Wolff", written in a cursive style.

Loren Wolff

CONCEPT DEVELOPMENT PLAN

Application for Zoning Map Amendment
Wawa, Inc.
3410 Turkeyfoot Road, Erlanger, KY 41018

Introduction

This Concept Development Plan is submitted in support of a Map Amendment Application (“Application”) to change the zoning at 3410 Turkeyfoot Road, Erlanger, KY (the “Property”) from Residential Compact Subdivision (“R-CPS”) to Neighborhood Commercial (“NC”) for the proposed development of a Wawa, Inc. (“Wawa”).

Wawa is a nationally recognized privately held, family and employee owned, chain of convenience stores and gas stations. Wawa is known for its freshly prepared foods, beverages, coffee, and fuel services. The average Wawa employs thirty five (35) to forty (40) people and the average employment lasts seven (7) years. Wawa is known for its community engagement, supporting local neighborhoods through The Wawa Foundation and Wawa Community Care initiatives that focus on health, hunger relief, and honoring everyday heroes.

As outlined in this Concept Development Plan, the proposed rezoning satisfies the criteria for approval and aligns with the applicable standards and policies under the Zoning Ordinance for the City of Erlanger, Kentucky (“Zoning Ordinance”) and the Direction 2030 Comprehensive Plan (the “Comprehensive Plan”). No variances or waivers are being sought at this time.

The Property & Proposed Use

The Property is currently zoned R-CPS and situated within the Suburban Sub Area. It is currently used for commercial purposes. The Property has two existing access points along Turkeyfoot and Stevenson Road. The proposed building for the convenience store will be surrounded by parking areas with an adjacent structure to accommodate sixteen (16) passenger car fueling stations.

It is surrounded by other R-CPS zoned areas, with an NC zoned area a short distance east of the Property along Stevenson Road. The Suburban Sub Area is intended to allow for a mix of uses that provide residents with convenient and accessible goods and services to accommodate a more active and engaging environment (See Comprehensive Plan – Sub Areas). This is why the NC zone has been used in surrounding areas in order to encourage a mixture of residential and commercial uses. For these reasons, as detailed below, the proposed rezoning meets the approval criteria and is consistent with the applicable standard and policies of the Zoning Ordinance and the Comprehensive Plan.

Submitted Documents

In support of this Application, the following documents are being submitted to demonstrate compliance with the Kenton County Subdivision Regulations and other applicable standards:

CONCEPT DEVELOPMENT PLAN

Application for Zoning Map Amendment
Wawa, Inc.
3410 Turkeyfoot Road, Erlanger, KY 41018

- **Site Plan & Governance Plan:** Illustrate the proposed layout of the Wawa convenience store, fueling stations, parking areas, and access points, ensuring compliance with subdivision design standards.
- **Grading Plan:** Details the proposed grading and earthwork for the site, addressing drainage and stormwater management requirements.
- **Utility Plan:** Shows the location and design of all utilities, including water, sewer, and stormwater systems, in accordance with county infrastructure standards.
- **Circulation Plan:** Provides information on vehicular and pedestrian circulation, including access points, drive aisles, walkways, and connectivity to adjacent roadways.
- **Planting Plan:** Outlines proposed landscaping, including tree and shrub placement, to meet buffer and compatibility requirements.
- **Planting Details and Notes:** Supplies technical specifications for plant materials, installation methods, and maintenance, ensuring compliance with landscaping standards.
- **Traffic Impact Study:** Evaluates the anticipated effects of the proposed development on local traffic patterns and demonstrates minimal impact on surrounding roadways and intersections.

Comprehensive Plan Compliance

The proposed zone change aligns with the goals of the Comprehensive Plan, encouraging the use of lots to provide residential areas with access to commercial uses.

Regional

A NC designation is appropriate given the Property's location directly off one minor arterial and one collector roadway, allowing the proposed use to not only benefit the surrounding residential areas, but also the entire Greater Cincinnati Metropolitan Region. Development of the Property into a nationally recognized convenience store and gas station will offer an additional source of employment available to nearby residents and provide an overall positive economic impact on the Region (Wawa stores employ an average of thirty-five (35) to forty (40) employees).

Sub Area – Suburban

An NC designation is appropriate given the Property's location within the Suburban Sub Area, allowing the proposed use to contribute to the impact of the entire Suburban Sub Area on the Greater Cincinnati Metropolitan Region. The existing use of the Property for a daycare means the existing design is well suited for a commercial use with a daily traffic impact. As such, the location

CONCEPT DEVELOPMENT PLAN

Application for Zoning Map Amendment
Wawa, Inc.
3410 Turkeyfoot Road, Erlanger, KY 41018

of the Property off one minor arterial and one collector roadway surrounded by residentially zoned areas provides surrounding residents with convenient and accessible goods and services, while allowing for easy access for those who seek to utilize the employment opportunities available at this proposed commercial use. The pedestrian walkways along both roadways also ensure walkability from residential areas to this proposed commercial use.

Environment

The development of the Property to the proposed use will have little to no impact on the existing site's environmental landscape as there are no current environmental constraints that affect safety or conservation issues. The Property will provide a stormwater management area to improve the health of watersheds and adequate landscaping buffers to protect any current tree canopy. The Property is also not located on a hillside that would raise any development issues in regard to hillside slippage or draining issues that could affect surrounding residential areas. See Grading Plan and Planting Plan for details on stormwater management and landscaping buffers.

Land Use

A NC designation is appropriate given the recommendation that the Property be used for a commercial use (See Comprehensive Plan – Land Use Element Map). The proposed uses of a convenience store and gas station are appropriate in scale given the Suburban Sub Area. Additionally, the Property's access points to one minor arterial and one connector roadway ensure connectivity with the surrounding residential areas. The proposed use will provide necessary goods and services to the area's population, while maintaining the appropriate landscaping buffers to mitigate any potential negative impacts on surrounding residences by means of noise or light. (See Site Plan and Planting Plan for layout and buffer details.)

Mobility

As evidenced by the Traffic Study, the development of the Property to the proposed use will have a "minimal impact" on the intersections and roadway networks of the surrounding residential and commercial areas. While both Stevenson Road and Turkeyfoot Road currently experience significant traffic during the peak morning and evening hours, the Traffic Study confirms that this proposed development will have a minimal impact on current queueing issues. The location of the Property along the two roadways provides access to its goods and services for surrounding residents across Boone, Campbell, and Kenton counties. The pedestrian walkways along both roadways and the access to parking on the Property encourage intra-community connectivity, allowing for convenient access to the Property from the surrounding residential communities for both pedestrian and vehicular transportation. The Property is also located at a signalized

CONCEPT DEVELOPMENT PLAN

Application for Zoning Map Amendment
Wawa, Inc.
3410 Turkeyfoot Road, Erlanger, KY 41018

intersection, allowing for the safe transport of both vehicles and pedestrians. (See Circulation Plan and Traffic Impact Study for supporting analysis.)

Economy

An NC designation is appropriate in the Suburban Sub Area as this Sub Area is intended to allow for a pattern of development served by a mixture of compatible commercial uses to serve residential development. The proposed development of the Property into a nationally recognized convenience store and gas station has the potential to increase the county's economic vitality by providing goods and services to surrounding communities, enhanced by access to the Property via one minor arterial and one connector roadway.

Housing

An NC designation will encourage development of a variety of commercial uses, necessary to serve the needs of the surrounding residential communities without negatively impacting them. The proposed uses of a convenience store and gas station provide necessary goods and services to the residents in the surrounding areas that may access the Property through multi-modal transportation due to its location along one minor arterial and one connector roadway with pedestrian walkways. Additionally, the adaptive repurposing of the current commercial site does not cause any displacement of residents or loss of affordable housing in the area.

Community Facilities

An NC designation will encourage development of a variety of commercial uses, necessary to serve the needs of the surrounding residential communities. The availability of on-site parking and the presence of pedestrian walkways along both roadways provides necessary access to the goods and services offered by the proposed development. Additionally, the Property is not subject to historic preservation, so its proposed development does not undermine the importance of preserving historically significant sites.

Utility Management

The proposed development on the Property will comply with the Northern Kentucky Regional Stormwater Management Program Rules and Regulations of Sanitation District No. 1 for stormwater management and will provide for a stormwater management area on the northwestern edge of the Property along Stevenson Road via access to the public sewer system. The stormwater management area coupled with landscaping buffers will minimize any potential negative impacts on surrounding residential areas. (See Utility Plan and Grading Plan for details.)

CONCEPT DEVELOPMENT PLAN

Application for Zoning Map Amendment
Wawa, Inc.
3410 Turkeyfoot Road, Erlanger, KY 41018

Complies with the Zoning Ordinance and the Kenton County Subdivision Regulations

The proposed development of the Property has been designed to comply with all applicable requirements of the Zoning Ordinance and the Kenton County Subdivision Regulation (“Subdivision Regulations”).

Zoning Ordinance Compliance

The requested rezoning from R-CPS to Neighborhood NC aligns with the intent and standards of the Zoning Ordinance. The NC zone is appropriate for the Property’s location, providing compatible commercial uses that serve the surrounding residential areas. The proposed site plan meets all dimensional requirements, including setbacks, lot coverage, and building height, and does not require any variances or waivers at this time. (See Site Plan for dimensional compliance.)

Compliance with Kenton County Subdivision Regulations

The proposed development at 3410 Turkeyfoot Road, Erlanger, KY, will comply with all applicable provisions of the Kenton County Subdivision Regulations. Specifically:

- Subdivision Layout & Design: The Site Plan provides for safe and efficient vehicular and pedestrian access, including two existing access points and pedestrian walkways, in accordance with county standards for lot layout and connectivity. (See Site Plan and Circulation Plan.)
- Infrastructure & Public Improvements: All new streets, sidewalks, storm sewers, and utilities will be designed and constructed to meet or exceed the minimum standards set forth in the Kenton County Subdivision Regulations. Required inspections by Planning and Development Services (PDS) staff will be scheduled prior to installation of public improvements. (See Utility Plan and Grading Plan.)
- Stormwater Management: The project will comply with the Northern Kentucky Regional Stormwater Management Program and Sanitation District No. 1 regulations, including the provision of a dedicated stormwater management area and connection to the public sewer system. (See Grading Plan and Utility Plan.)
- **Landscaping & Buffers**: Landscaping buffers will be installed to mitigate potential impacts on adjacent residential properties, consistent with subdivision requirements for compatibility and environmental protection. (See Planting Plan and Planting Details and Notes.)

CONCEPT DEVELOPMENT PLAN

Application for Zoning Map Amendment
Wawa, Inc.
3410 Turkeyfoot Road, Erlanger, KY 41018

Traffic

A Traffic Impact Study was conducted to evaluate the effects of the proposed Wawa convenience store and gas station at 3410 Turkeyfoot Road on the surrounding roadway network. The study found that the development will have a **minimal impact** on the intersections and roadway networks of the adjacent residential and commercial areas. Key findings include:

- Peak Hour Traffic: While both Stevenson Road and Turkeyfoot Road currently experience significant traffic during peak morning and evening hours, the study confirms that the proposed development will not substantially worsen existing queueing issues.
- Access and Connectivity: The site benefits from two existing access points along Turkeyfoot and Stevenson Road, as well as a signalized intersection, which supports safe and efficient transport for both vehicles and pedestrians.
- Pedestrian Infrastructure: Pedestrian walkways along both roadways encourage intra-community connectivity, allowing convenient access for residents via both pedestrian and vehicular transportation.
- Regional Impact: The location provides access to goods and services for residents across Boone, Campbell, and Kenton counties, supporting broader regional mobility.
- Mitigation Measures: The plan includes adequate on-site parking and landscaping buffers to minimize any potential negative impacts on traffic flow and residential quality of life

(See the Traffic Impact Study and Circulation Plan for supporting analysis.)

Overall, the Traffic Impact Study supports the conclusion that the Wawa Erlanger project will integrate smoothly into the existing transportation infrastructure, maintaining safe and efficient mobility for the community.

Utilities

The development will connect to public water, sewer, and other utilities as required, and all utility improvements will be coordinated with the appropriate agencies to ensure compliance with local standards. (See Utility Plan for details.)

Conclusion

The proposed rezoning of the Property from R-CPS to NC will allow Wawa to responsibly repurpose the existing commercial site to provide a nationally recognized convenience store and

CONCEPT DEVELOPMENT PLAN

Application for Zoning Map Amendment
Wawa, Inc.
3410 Turkeyfoot Road, Erlanger, KY 41018

gas station to the area. This adaptive use aligns with the goals of the Comprehensive Plan by supporting commercial development that will enhance access to goods and services for nearby residents.

The project ensures minimal impact on the surrounding areas, as there are no current environmental constraints and adequate landscaping buffers will be used to mitigate any potential adverse effects by means of noise or light. The Property's direct access to both Turkeyfoot Road and Stevenson Road and the existing transportation routes were found to have a minimal impact on local traffic patterns of the surrounding residential and commercial areas, as evidenced by the Traffic Study.

By ensuring the Property's appropriate scale in relation to the surrounding residential areas and integrating complementary commercial uses, Wawa's proposed development will enhance community offerings while preserving the area's residential and commercial nature. This adaptive repurposing of the existing site reflects a balance between development and community needs, providing valuable goods and services without disruption to nearby property owners and residents.

1. Executive Summary

1.1. Summary

This Traffic Impact Study (TIS) conducted by CESO, Inc. addresses the traffic related impacts associated with the proposed Wawa Development; referred to herein as “Wawa Development.” The proposed Wawa Development is to be located in the southwest quadrant of the Turkeyfoot Road & Stevenson Road/Misty Creek Drive intersection within the City of Erlanger, Kenton County, KY. The full buildout of the proposed Wawa Development is projected to include a 6,372 S.F. convenience store with 16 passenger car fueling positions.

Wawa’s Site Plan application requests approval of one (1) access connection to Turkeyfoot Road and one (1) access connection to Stevenson Road.

The Traffic Impact Study focused on evaluating the Existing, 2026 No-Build, 2026 Build, 2036 No-Build, and 2036 Design Year Traffic conditions near the Site.

1.2. Conclusions

The full buildout of the Wawa Development is estimated to generate 5,532 trips per day on a typical weekday (2,766 inbound and 2,766 outbound), of which 506 trips will be generated during the Weekday AM Peak Hour (253 inbound and 253 outbound) and 430 trips will be generated during the Weekday PM Peak Hour (215 inbound and 215 outbound). ***Pass-by trips were included in the analysis.***

Trips for the proposed Wawa Development are anticipated to approach and depart the Site following the distribution patterns illustrated on Figures 6.A-6.B (see pg. 17-18).

Synchro Version 12.0 HCM 7th Edition Signalized and TWSC methodology was used to analyze the current level of service at the key study intersections.

In comparison between the **2026 No-Build** and **2026 Build Traffic Scenarios**, as well as comparisons between the **2036 No-Build** and **2036 Design Year Traffic Scenarios**, the Proposed Wawa Development has minimal impact on the study intersections and surrounding roadway network. The signal-controlled intersection operates at overall level of service (LOS) “C” or better conditions with recommended improvements implemented. In addition, the individual movements of the stop-controlled intersections operate at level of service (LOS) “D” or better conditions.

CESO completed turn lane analyses for the study network and reached the following conclusions:

- According to the KYTC turn lane warrant spreadsheet, a SB to WB right-turn lane **is warranted** at the intersection of Turkeyfoot Road & Site Driveway #2 under the 2026 Build and 2036 Design Year Traffic Scenarios during the PM peak hour. CESO recommends the construction of a 75’ right-turn lane with a 50’ taper.
- Due to the existing geometry of the roadways surrounding the Wawa Development, with a TWLTL on Turkeyfoot Road, and the two WB through lanes on Stevenson Road that can be utilized before merging after Site Driveway #1, a left-turn lane analysis was not completed. However, to ease traffic turning left into Site Driveway #1, CESO recommends the restriping of the leftmost through lane to provide a 75’ left-turn lane with a 50’ taper.

CESO conducted queue length analyses for the study network and reached the following conclusions:

- Both Stevenson Road & Turkeyfoot Road experience significant traffic during AM and PM peak hours, leading to queue spillbacks at the signalized intersection.
- The proposed Wawa Development has minimal impact on current queueing issues.
- With the recommended improvements, Queuing in the dual EB left-turn lanes do not exceed their existing storage length, allowing WB left turns into Site Driveway #1.

1.3. Summary of Recommendations

The following summary of recommendations was generated based upon the findings in the Traffic Impact Study. Refer to Figure 11 for the Recommended Improvements graphics.

2026 No-Build Traffic Scenario (Responsibility – Others):

- No improvements are recommended.

2026 Build Traffic Scenario – (Responsibility – Wawa):

Stevenson Road & Doris Court/Site Driveway #1:

- Construct Site Driveway #1 to permit right-in, left-in, and right-out (3/4 access) movements of passenger cars. Control Site Driveway #1 with one (1) stop sign.
- Restripe leftmost westbound through lane into a left-turn lane with a storage length of 75' and a 50' taper.
- Add "Do Not Block Intersection" signage and striping.

Turkeyfoot Road & Stevenson Road/Misty Creek Drive:

- Implementation of permissive + overlap phasing for the eastbound and westbound right-turn movements.
- Restripe the eastbound through lane to be a shared through-right lane. Eastbound approach configuration is as follows: dual left-turn lanes, a shared through-right lane, and a right-turn only lane.
- Restripe the westbound through lane and right-turn lane so the through lane aligns with the rightmost through lane across the intersection.

Turkeyfoot Road & Site Driveway #2:

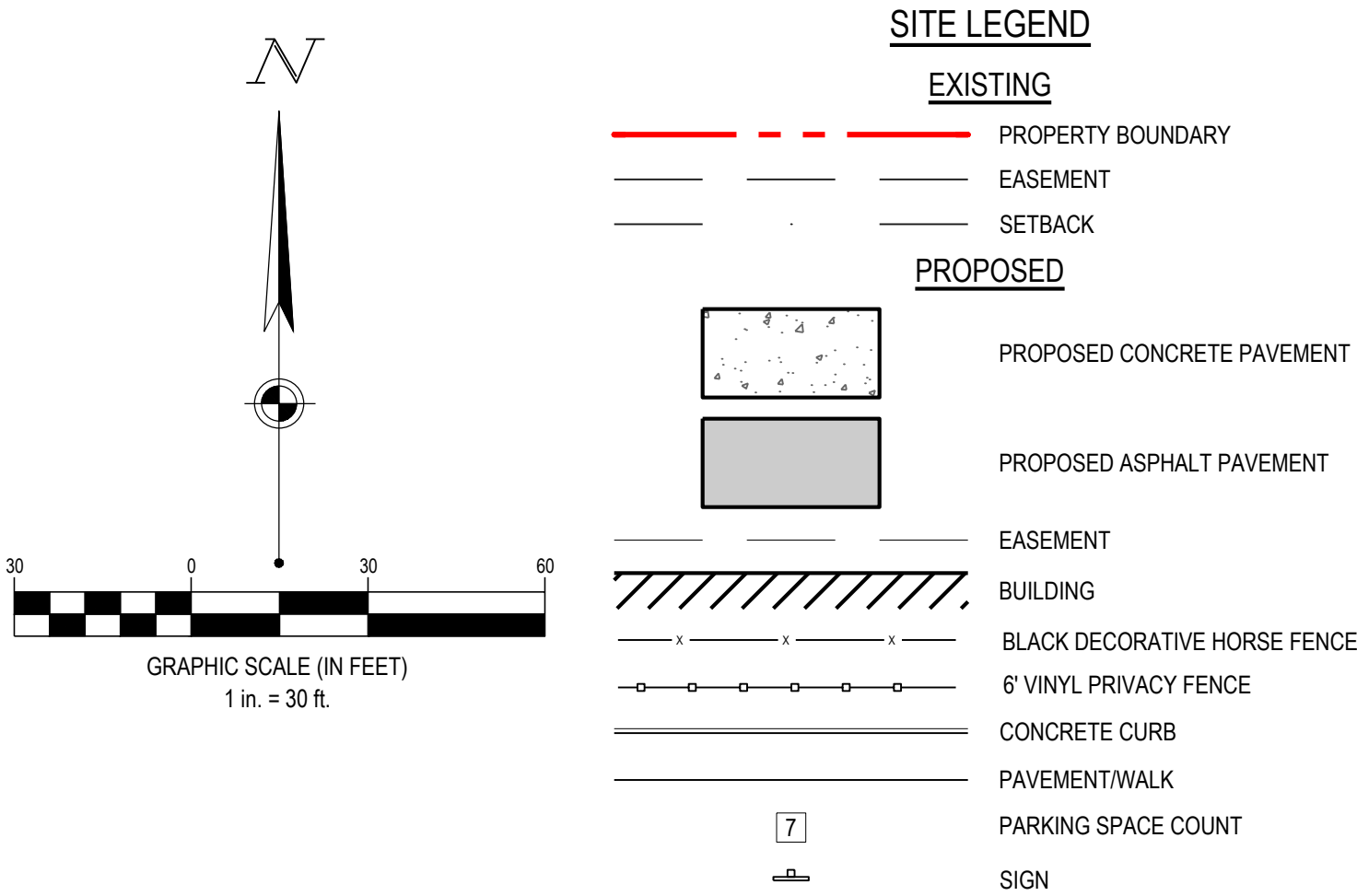
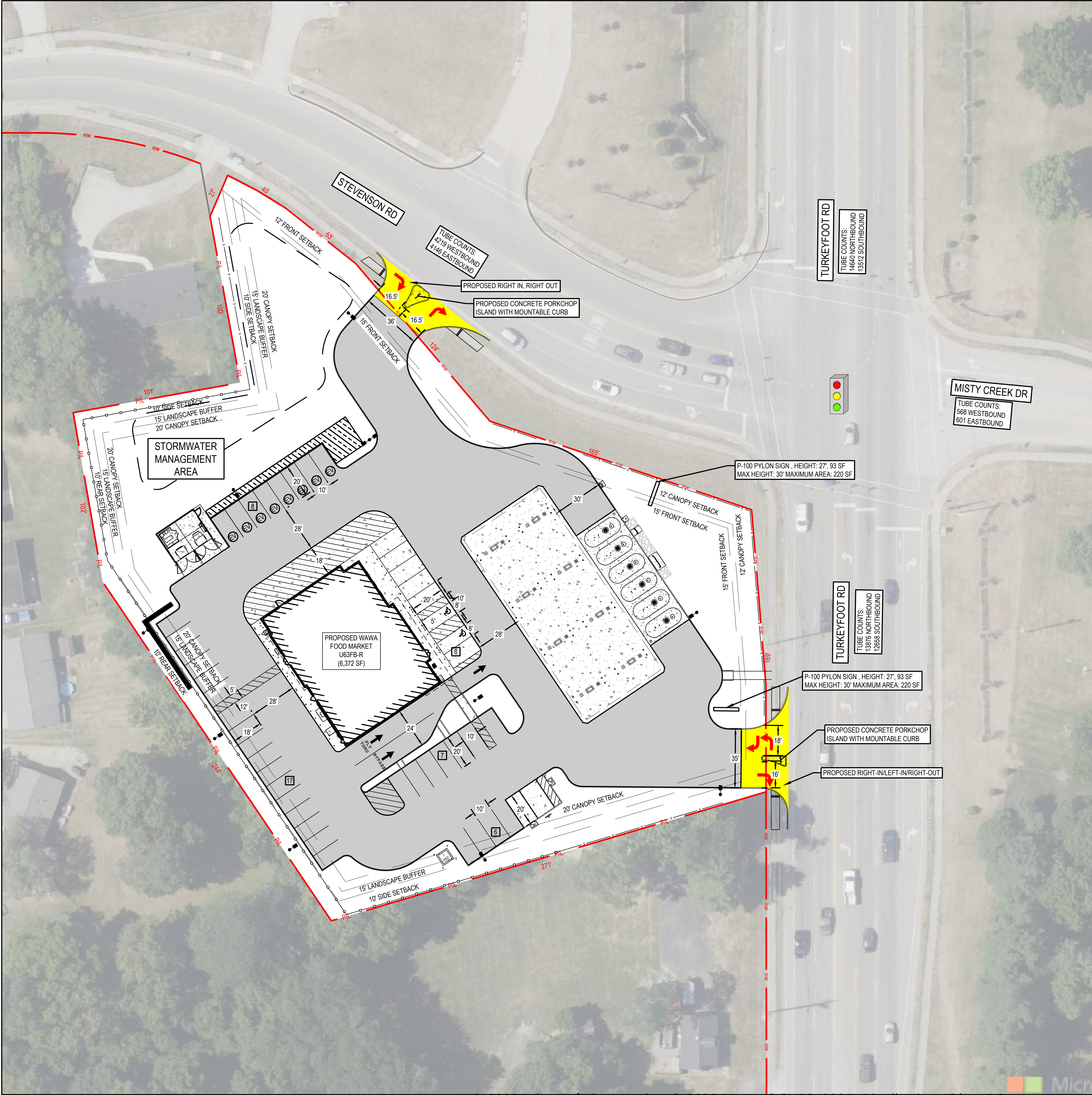
- Construct Site Driveway #2 to permit right-in, left-in, and right-out (3/4 access) movements of passenger cars. Control Site Driveway #2 with one (1) stop sign.
- Construction of a SB to WB right-turn lane with a storage length of 75' and a 50' taper.

2036 No-Build Traffic Scenario Traffic Scenario (Responsibility – Others):

- No additional improvements are recommended or required.


2036 Design Year Traffic Scenario – (Responsibility – Wawa):

- No additional improvements are recommended or required.




LOCATION MAP:
NO SCALE

PROPERTY DATA:		
ADDRESS:	3410 TURKEYFOOT RD. ERLANGER, KY 41018	
PROPERTY AREA:	2.55 ACRES	
CURRENT ZONING:	R-CPS (RESIDENTIAL COMPACT SUBDIVISION)	
PROPOSED ZONING:	NC (NEIGHBORHOOD COMMERCIAL)	
PROPOSED USE:	FUEL STATION & CONVENIENCE STORE	
BUILDING TYPE:	U63FB-R	
CANOPY CONFIGURATION:	AUTO-STACKED	
NUMBER OF M.P.D.S.:	AUTO - 8	
CANOPY TYPE:	SLOPED	
YARD SETBACKS	REQUIRED	PROPOSED
FRONTAGE ALONG STEVENSON RD:	15'	153'
FRONTAGE ALONG TURKEYFOOT RD:	15'	97'
SIDE:	10'	209'
REAR:	10'	65'
LANDSCAPE BUFFER	15' ADJACENT TO RESIDENTIAL	
PARKING		
TOTAL PARKING SPACES:	40	46
ADA PARKING SPACES:	2	2
PARKING TABLE		
ZONE A:	8 SPACES (INCLUDING 3 ADA SPACES)	
ZONE B:	7 SPACES	
ZONE C:	31 SPACES (INCLUDING 8 FUTURE EV SPACES & 2 AIR SPACES)	
MAX BUILDING HEIGHT:	40'	
MAX COVERAGE:	TBD	



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WAWA
STORE #7629

WAWA - ERLANGER, KY
3410 TURKEYFOOT RD
ERLANGER, KY 41018

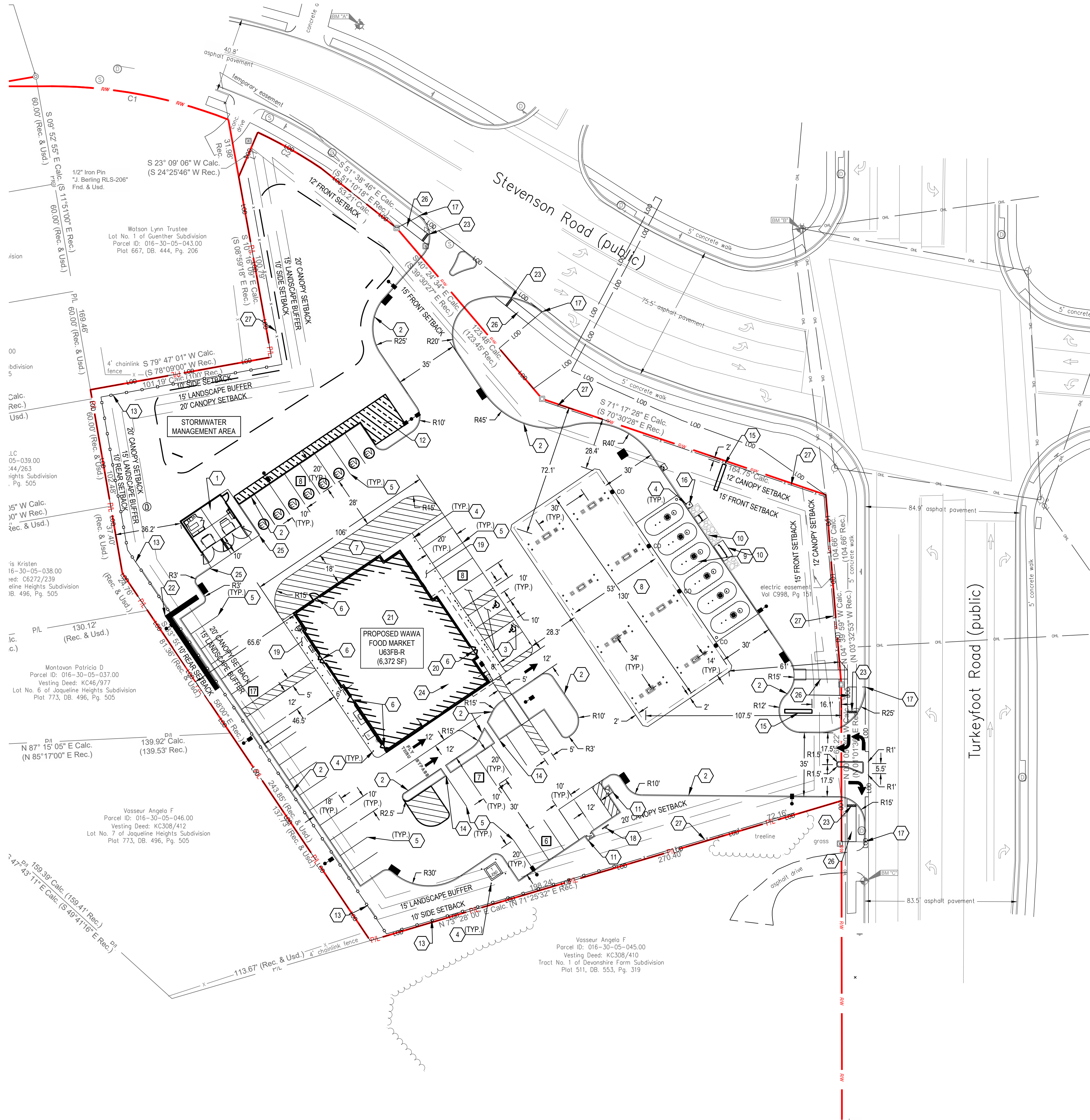
Revisions / Submissions		
ID	Description	Date

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Project Number:	765024
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Drawn By:	FAR
Checked By:	PDH
Date:	10/21/2025
Issue:	GOVERNANCE

Drawing Title:
GOVERNANCE PLAN

GP1.0



SITE REQUIREMENTS:

- BUILDING SETBACKS: FRONTAGE ALONG STEVESON ROAD - 15'
FRONTAGE ALONG TURKEYFOOT ROAD - 15'
SIDE - 35'
REAR - 35'
- STANDARD PARKING DIMENSIONS: 10'Wx20'
- PARKING REQUIRED: WAWA C-STORE:
(1) SPACE PER 200 S.F. OF GROSS FLOOR AREA
(1) SPACE PER GAS PUMP
- 6,372 x (1/200) = 32 SPACES
1 x 8 GAS PUMPS = 8 SPACES
- TOTAL PARKING REQUIRED = 40 SPACES
TOTAL PARKING PROPOSED = 46 SPACES

SITE NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL DOT STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL APPROVALS/PERMITTING AND INSPECTIONS AS NECESSARY PRIOR TO CONSTRUCTION.
- ALL WET OR OTHERWISE UNSUITABLE SOILS MUST BE STABILIZED PRIOR TO PAVEMENT CONSTRUCTION. REFER TO GEOTECHNICAL REPORT.
- ALL DIMENSIONS AND COORDINATES REFER TO EDGE OF PAVEMENT AND/OR FACE OF CURB WHERE APPLICABLE.
- ALL RADII TO BE 5'-0" UNLESS OTHERWISE NOTED.
- REFER TO WAWA STANDARD DETAILS SHEET / GEOTECHNICAL REPORT FOR PAVEMENT SECTION RECOMMENDATIONS.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT AND DIMENSIONS AND PROPOSED SIGNS.

CODING NOTES:

- PROPOSED 8' MASONRY TRASH ENCLOSURE W/ 8" REINFORCED CONCRETE PAD. REFER TO ARCHITECTURAL PLANS.
- PROPOSED 6" STRAIGHT CURB.
- ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE.
- PROPOSED 6" CONCRETE BOLLARD. TYPICAL DISTANCE BETWEEN BOLLARDS ARE 5'.
- PROPOSED 4" YELLOW PAINT PARKING LOT PAVEMENT MARKINGS.
- PROPOSED BUILDING DOOR.
- PROPOSED 106' X 18' 8" CONCRETE LOADING ZONE (4,000 PSI).
- PROPOSED 130' X 55' FUELING CANOPY (7,150 SF).
- PROPOSED TWO (2) 22K AND ONE (1) 20K FUEL STORAGE TANKS. REFER TO FUELING PLANS FOR DETAILS.
- PROPOSED 6'X6' VENT RISER AND OVERFILL ALARM CONCRETE PADS (4,000 PSI) WITH TWO BOLLARDS.
- PROPOSED AIR PUMP.
- LIMITED BUILD AREA FOR POTENTIAL FUTURE EV EQUIPMENT.
- PROPOSED 6' VINYL PRIVACY FENCE.
- PROPOSED 3' CURB CUT.
- PROPOSED P-50 PYLON SIGN (\$8.5 SF BASE X 20' HEIGHT), SEE SIGN PACKAGE FOR DETAILS.
- PROPOSED E-STOP BUTTON LOCATION.
- TRANSITION TO MATCH EXISTING CURB AT TIE OUTS.
- PROPOSED AIR SPACE SIGN.
- PROPOSED 4' CONCRETE SIDEWALK (4,000 PSI).
- PROPOSED EMERGENCY EXIT DOOR.
- PROPOSED BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED RETAINING WALL. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED DETECTABLE WARNING MAT.
- PROPOSED E-STOP LOCATION AT COUNTER IN BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED CURB TAPER.
- PROPOSED PUBLIC SIDEWALK.
- PROPOSED BLACK DECORATIVE HORSE FENCE MATCHING THE NEIGHBORING PROPERTY.

FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: KENTUCKY UTILITIES PROTECTION SERVICE AT 811 OR 800-752-6007 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



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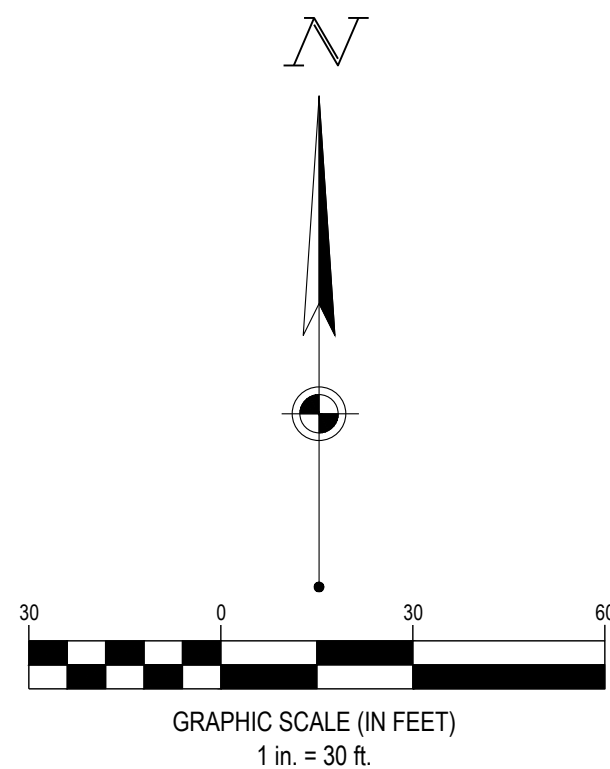
ERLANGER, KY

3410 TURKEYFOOT ROAD
ERLANGER, KY 41018

Revisions / Submissions		
ID	Description	Date
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Project Number:	765024	
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Drawn By:	FAR	
Checked By:	JS	
Date:	10/21/2025	
Issue:	NOT FOR CONSTRUCTION	

Drawing Title:
SITE PLAN

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GRADING LEGEND	
EXISTING	
REFER TO ALT/ANSPS TOPOGRAPHIC SURVEY	
PROPOSED	
— RW	RIGHT-OF-WAY
— PL	PROPERTY LINE
---	SETBACK
---	EASEMENT
	BUILDING
	MAJOR CONTOUR
	MINOR CONTOUR
	GRADE BREAK
	SWALE
	STORM SEWER
	FINISHED GRADE ELEVATION
	RIM ELEVATION
	TOP OF CURB ELEVATION
	FINISHED GRADE ELEVATION
	MATCH EXISTING ELEVATION
	SLOPE ARROW
	CURB INLET
	CATCH BASIN
	STORM CLEANOUT
	STORM MANHOLE
	HEADWALL

CODED NOTES:

- WYE CONNECTION
- REFER TO ARCHITECTURAL PLANS FOR BUILDING AND CANOPY LEADERS AND LATERALS

EARTHWORK QUANTITIES	
RAW CUT (CY)	RAW FILL (CY)
9262	3380
*ESTIMATED QUANTITIES NOT FOR BIDDING	

BENCHMARK (DATUM NAVD 88)	
	DESCRIPTION
BM "A":	CHISELED "X" IN THE CONCRETE CURB 38.2' WEST OF THE CENTERLINE OF TURKEYFOOT ROAD, AND 56.7' SOUTH OF THE PROPERTY'S SOUTHEASTERN CONCRETE ENTRANCE. ELEVATION: 866.41'.
BM "B":	CHISELED "X" IN THE CONCRETE BASE OF THE TRAFFIC SIGNAL POLE 73.5' WEST OF THE CENTERLINE OF TURKEYFOOT ROAD, AND 63.2' NOTH OF STEVENSON ROAD. ELEVATION: 870.06'
BM "C":	TOP BOLT OF FIRE HYDRANT 316.1' WEST OF THE CENTERLINE OF TURKEYFOOT ROAD, ADN 45.5' NORTH OF THE CENTERLINE ON STEVENSON ROAD. ELEVATION: 855.28'.



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: KENTUCKY UTILITIES PROTECTION SERVICE AT 811 OR 800-752-6007 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



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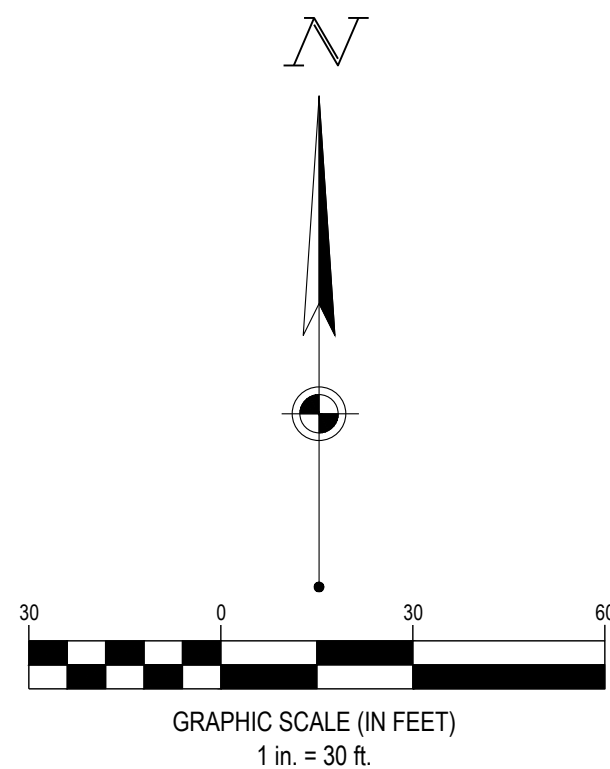
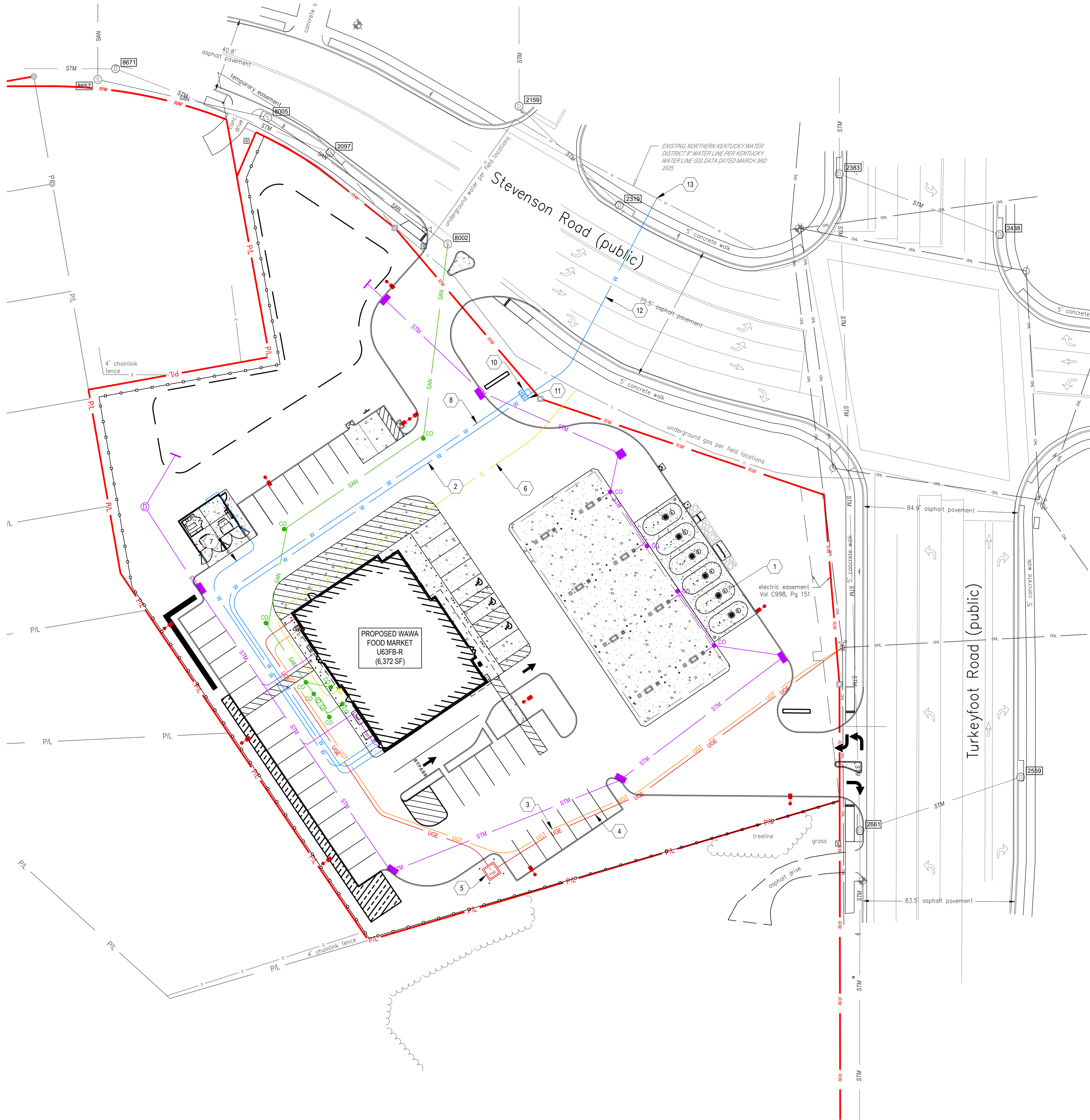
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GRADING PLAN

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UTILITY LEGEND

EXISTING	
REFER TO XXX FOR EXISTING FEATURES LEGEND	
PROPOSED	
	BUILDING
	CONCRETE CURB
	PAVEMENT/WALK
	STORM SEWER LINE
	SANITARY SEWER LINE
	DOMESTIC WATER SERVICE LINE
	GAS SERVICE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND TELEPHONE LINE
	CATCH BASIN
	STORM SEWER MANHOLE
	SANITARY SEWER MANHOLE
	SANITARY CLEANOUT
	CURB INLET
	CLEANOUT
	ENDWALL
	ELECTRICAL TRANSFORMER PAD
	WATER VALVE
	LIGHT POLE

CODED NOTES:

- UNDERGROUND STORAGE TANKS. REFER TO ARCHITECTURAL PLANS AND FUELING PLANS
- PROPOSED 2" BLACK POLY DOMESTIC WATER SERVICE. CONTRACTOR TO COORDINATE METER WIT UTILITY COMPANY.
- PROPOSED UNDERGROUND TELEPHONE SERVICE. COORDINATE FINAL LOCATION WITH TELEPHONE COMPANY.
- PROPOSED UNDERGROUND ELECTRIC SERVICE. COORDINATE FINAL LOCATION WITH ELECTRIC COMPANY.
- PROPOSED TRANSFORMER PAD WITH BOLLARD PROTECTION PER POWER COMPANY.
- PROPOSED GAS SERVICE. CONTRACTOR TO COORDINATE WITH GAS PROVIDER FOR FINAL LOCATION TO THE GAS METER AND CONNECTION TO MAIN.
- PROPOSED 3/4" POWER WASH SUPPLY TO REMOTE TRASH COMPOUND. FROST FREE YARD HYDRANT TO BE INSTALLED AT COMPOUND.
- PROPOSED 1" BLACK POLY IRRIGATION LINE TO BFP LOCATED IN BUILDING UTILITY ROOM.
- CONNECTION TO EXISTING WATER MAIN
- PROPOSED 1" IRRIGATION METER.
- PROPOSED 2" WATER METER.
- WATERLINE CROSSING UNDER STEVENSON ROAD SHALL BE INSTALLED BY DIRECTIONAL DRILL. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
- PROPOSED 2" WATERLINE TO CONNECT TO EXISTING 8" WATERLINE WITH 2" TAPPING SLEEVE AND VALVE AND CORP STOP. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.

BENCHMARK (DATUM NAVD 88)	
DESCRIPTION	
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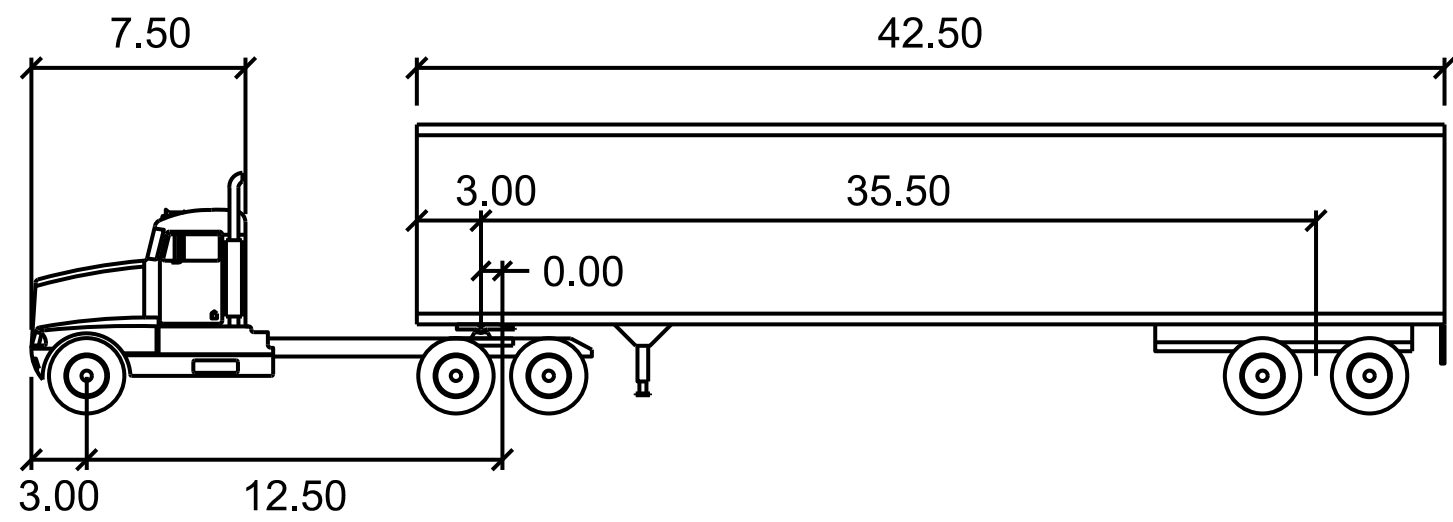
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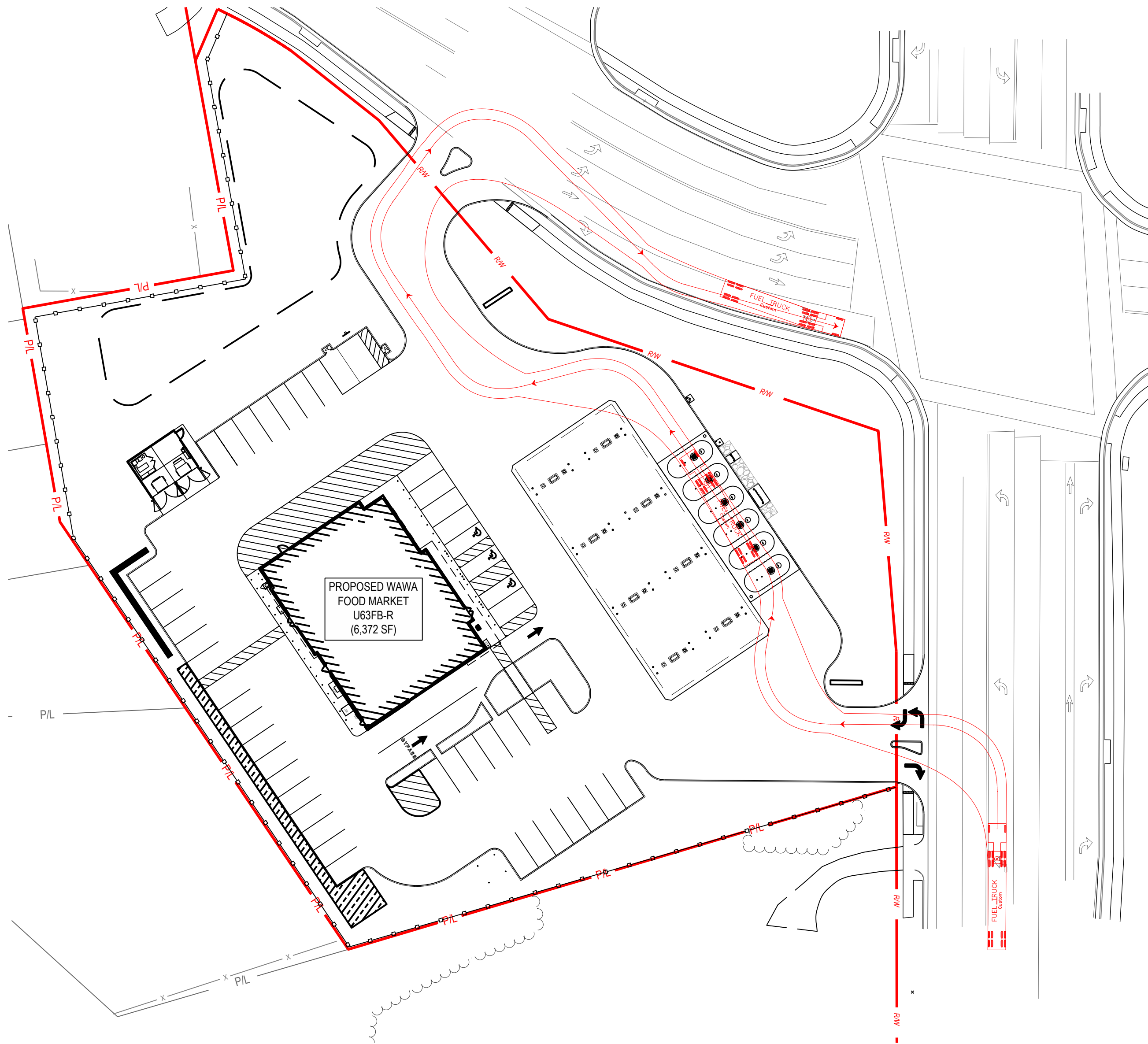
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UTILITY PLAN

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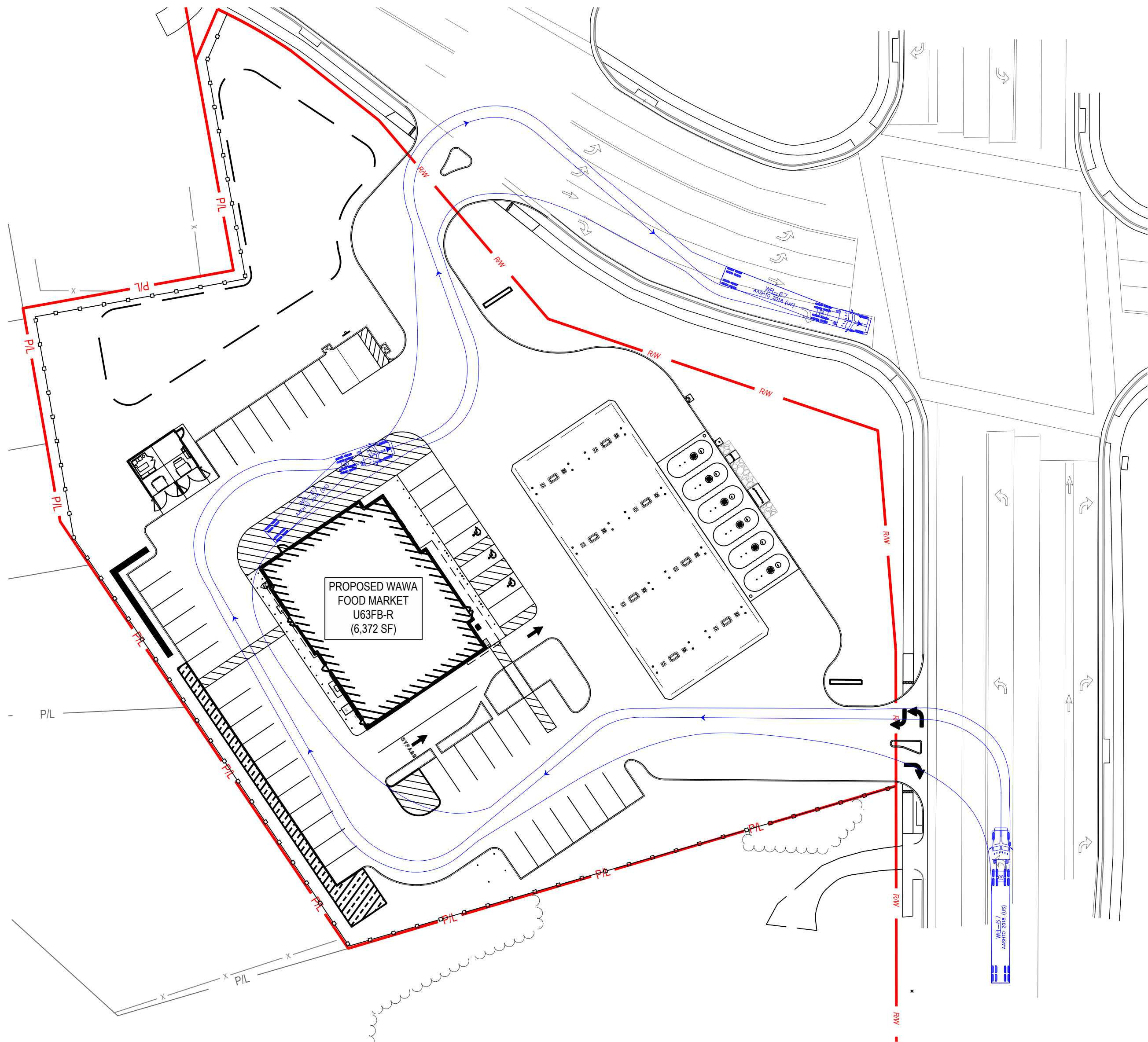


WB-50

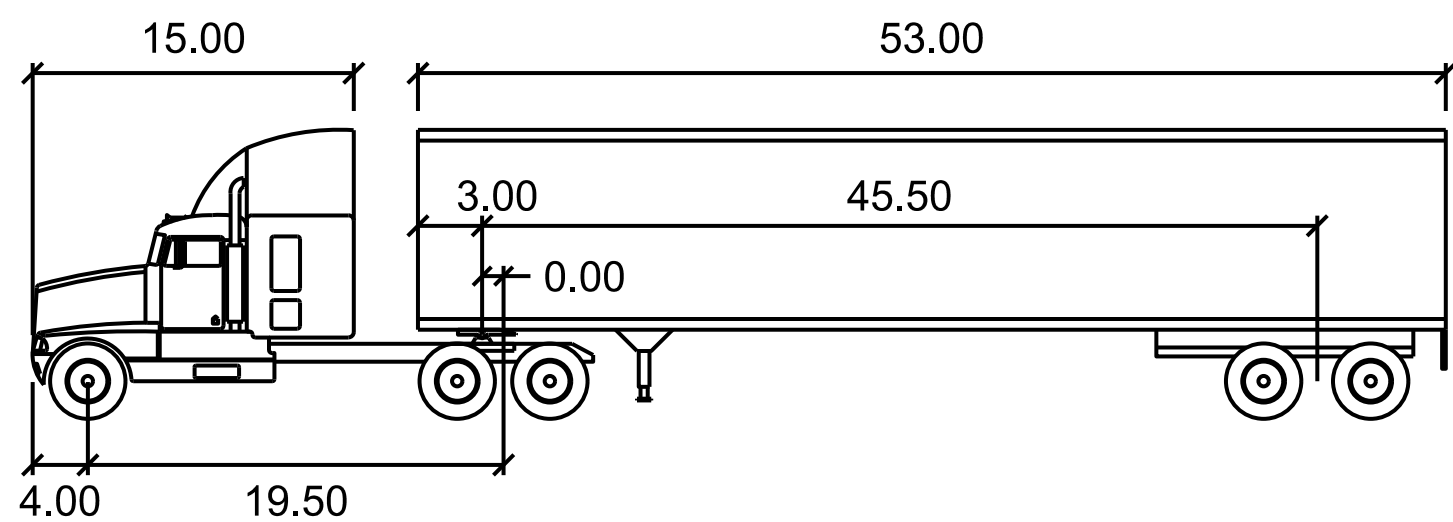
	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



VEHICLE CIRCULATION (WB-50/ FUEL TRUCK)
1"=40'

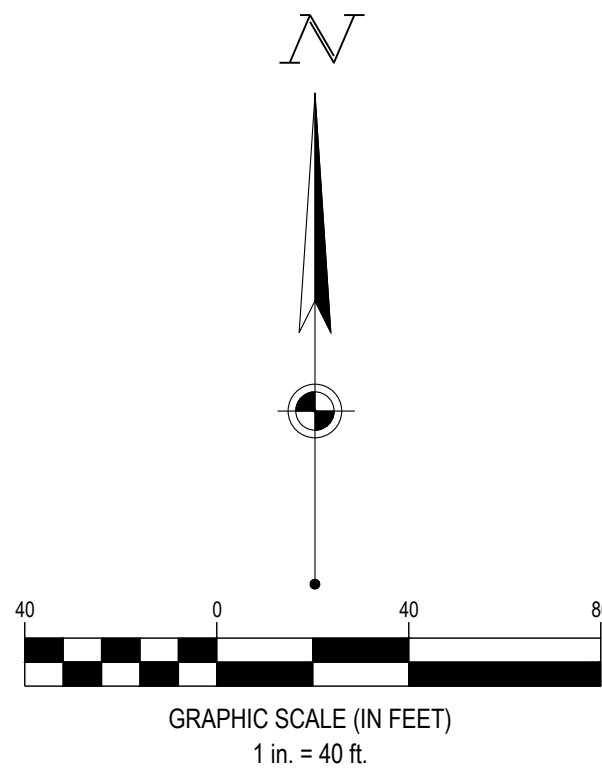


VEHICLE CIRCULATION (WB-67)
1"=40'



WB-67

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: KENTUCKY UTILITIES PROTECTION SERVICE AT 811 OR 800-752-6007 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



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Checked By: JS

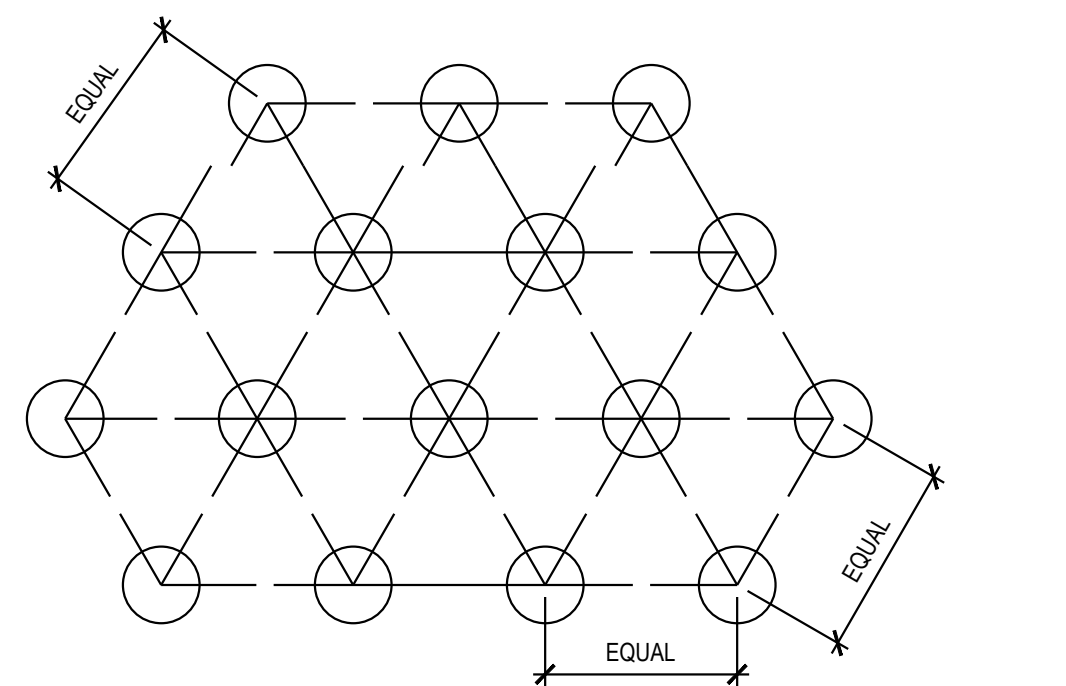
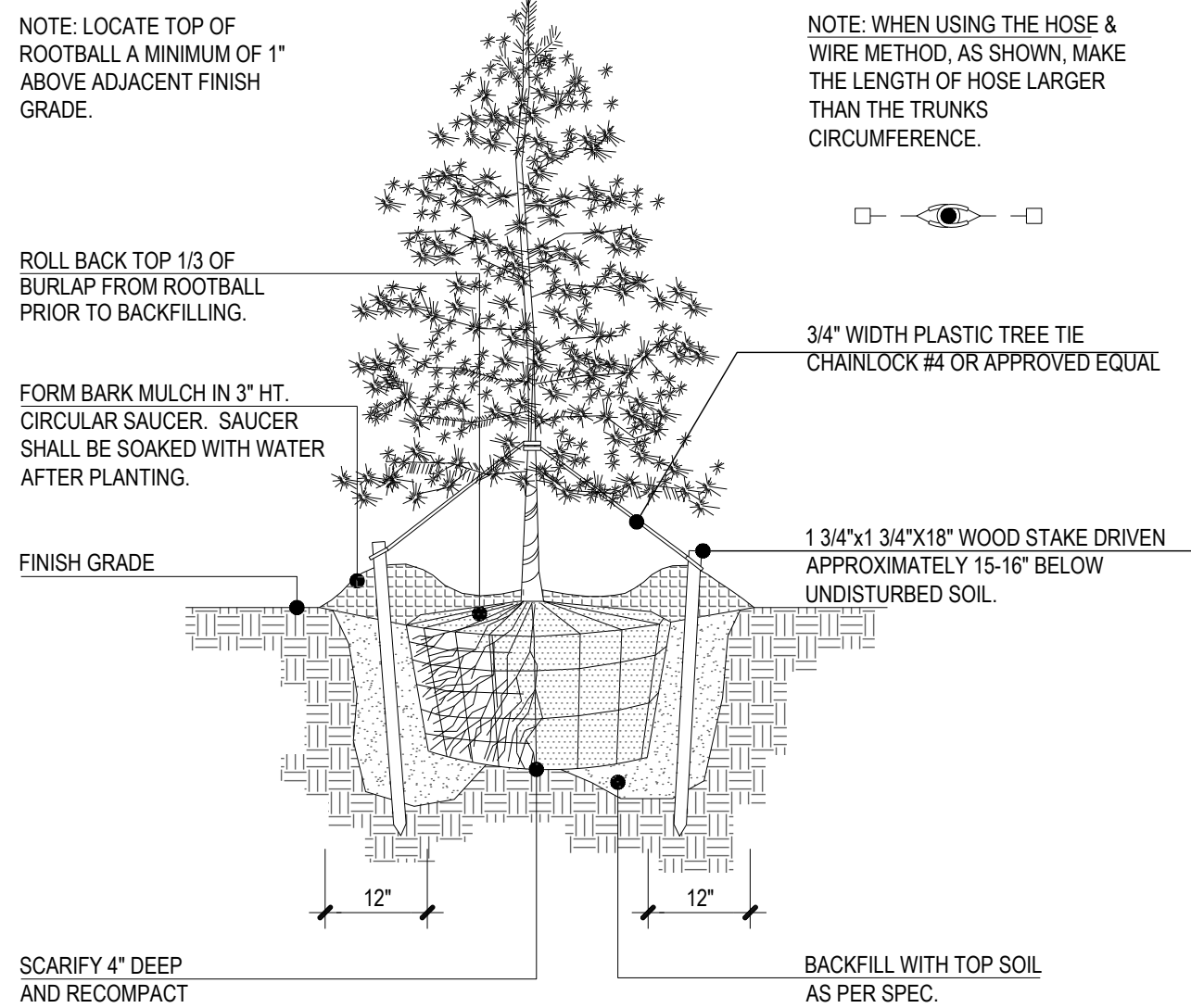
Date: 05/20/2025

Issue: NOT FOR CONSTRUCTION

Drawing Title:

CIRCULATION PLAN





ALL GROUND COVER SHALL BE PLANTED AT
EQUAL TRIANGULAR SPACING PER ON CENTER
SPACING AS SPECIFIED ON PLANTING PLAN.

LOCATE GROUND COVER ONE HALF OF SPECIFIED
SPACING DISTANCE FROM ANY CURB, SIDEWALK, OR
OTHER HARD SURFACE, UNLESS OTHERWISE NOTED.

1. CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY LOCATE SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
3. REFER TO SITE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWING AS NEEDED.
4. REESTABLISH EXISTING TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING, INCLUDING AREAS IN RIGHT-OF-WAY, TO MATCH EXISTING SPECIES.
5. CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
6. CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
7. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
8. CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
9. REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER AS NEEDED.
10. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GREATER QUANTITY SHALL GOVERN.
11. COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
12. ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL PLANTS THAT DO NOT MEET THE SIZE AND SPECIFICATIONS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK WILL BE REJECTED BY LANDSCAPE ARCHITECT AT NO COST TO OWNER.



THE INFORMATION ON THIS
DOCUMENT IS PRELIMINARY OR
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Diagram illustrating the planting specifications for a tree:

- FORM MULCH IN 3" HT. CIRCULAR SAUCER. SAUCER SHALL BE SOAKED WITH WATER AFTER PLANTING.**
- NOTE: LOCATE TOP OF ROOTBALL A MINIMUM OF 1" ABOVE ADJACENT FINISH GRADE.**
- FINISH GRADE**
- BACKFILL WITH TOP SOIL AS PER SPEC.**
- SCARIFY 4" DEEP AND RECOMPACT**
- 6"** (width of the planting pit)
- 6"** (width of the planting pit)

NOTE: USE TRENCH DETAIL ON ALL PLANTING BEDS TRANSITIONING TO TURF AREAS

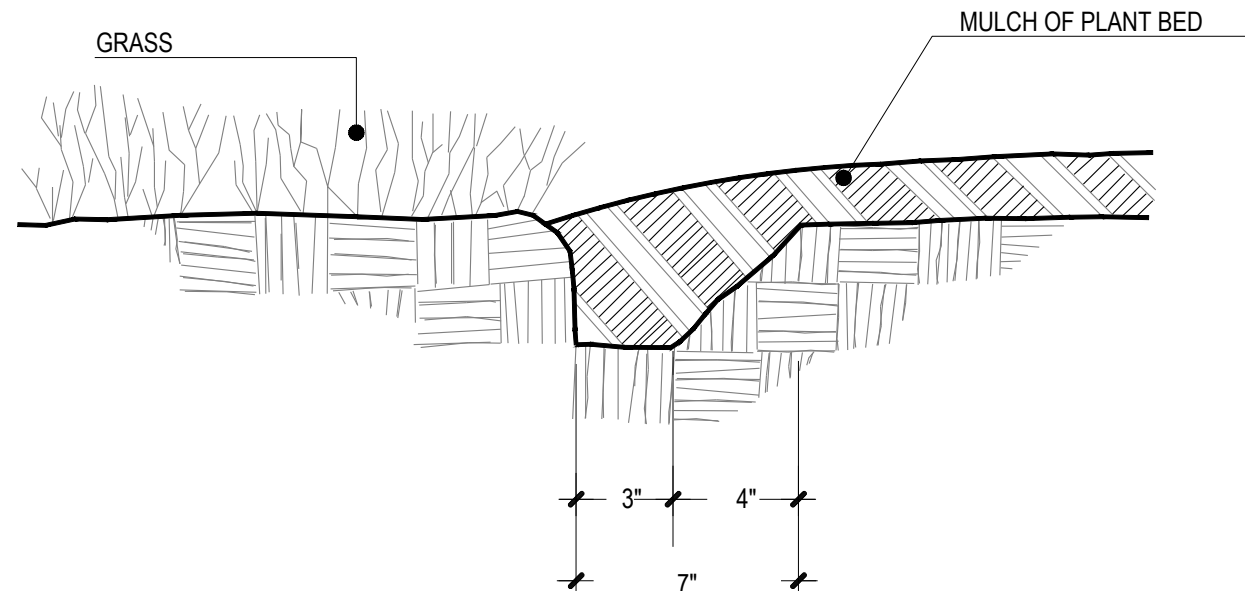


Diagram illustrating the Critical Root Zone (CRZ) and Tree Protection Fence (TPF) for a tree.

The diagram shows a cross-section of a tree on the left and a top-down view of the CRZ on the right.

Left Side (Cross-section):

- CRITICAL ROOT ZONE (CRZ):** Indicated by a dashed line.
- TREE PROTECTION FENCE AT CRZ:** A chain-link fence (5'-0" high) is shown at the CRZ.
- DRIPLINE:** Indicated by a dashed line.
- CHAIN LINK FENCE:** 5'-0" high.
- 10'-0" MAXIMUM:** Indicated for the distance from the tree trunk to the fence.
- 10'-0" MAXIMUM:** Indicated for the distance from the tree trunk to the fence.
- DRIPLINE (VARIES):** Indicated for the distance from the tree trunk to the dripline.
- (LIMITS OF CRITICAL ROOT ZONE):** Indicated for the distance from the tree trunk to the CRZ.
- RADIUS=1 FOOT PER INCH OF TRUNK DIAMETER:** Indicated for the CRZ.

Right Side (Top-down view):

- CRITICAL ROOT ZONE (CRZ):** A circle with a radius of 1 foot per inch of trunk diameter.
- RADIUS=1 FOOT PER INCH OF TRUNK DIAMETER:** Indicated for the CRZ.

NOTES:

1. NO TRUCKS OR HEAVY EQUIPMENT ALLOWED WITHIN BARRIERS, ONLY HAND LABOR ALLOWED.
2. NO CONSTRUCTION MATERIALS, SOILS DEPOSITS, OR SOLVENTS SHALL BE ALLOWED WITHIN BARRIERS.
3. BARRIERS ARE TO IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITIES WITH-IN TREE AREA.
4. BARRIERS ARE TO STAY IN PLACE UNTIL ALL PAVING, CONSTRUCTION, AND HEAVY EQUIPMENT IS REMOVED FROM THE AREA.
5. CRITICAL ROOT ZONE: 1 INCH OF TREE AT DIAMETER BREAST HEIGHT (DBH) IS EQUIVALENT TO 1 FOOT OF CRITICAL ROOT ZONE (CRZ). IE. 30 INCH DBH = 30 FOOT CRZ

1. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, DO NOT PLACE SOIL DEPOSITS, DEBRIS SOLVENTS, MACHINERY CONSTRUCTION MATERIAL OF ANY KIND WITHIN THE DRIP LINE OF A TREE TO REMAIN.

2. BEFORE CONSTRUCTION STARTS ALL PROTECTED TREES SHALL BE PRUNED AS FOLLOWS UNLESS OTHERWISE DIRECTED BY THE OWNER OR HIS REPRESENTATIVE: REMOVE ANY DEAD OR DISEASED TRUNKS OR BRANCHES, AND REMOVE WEAK OR CROSSED BRANCHES. ALL CUTS SHALL BE MADE SUFFICIENTLY CLOSE TO THE TRUNK OR PRUNING POINT, WITHOUT CUTTING INTO THE BRANCH COLLAR OR LEAVING A PROTRUDING STUB. SUCH SURGERY CAN BE READY TO START. ALL TRIMMING SHALL BE DONE BY A QUALIFIED TREE SURGEON. PRUNING SHALL BE IN ACCORDANCE WITH ANSI A-300 PRUNING STANDARDS.
3. ALL ROOTS TO BE REMOVED DURING THE SITE CLEARING SHALL BE SEVERED CLEAN AT THE PERIMETER OF THE DESIGNATED PROTECTED RADIUS. A 3" LAYER OF MULCH SHALL BE IMMEDIATELY APPLIED OVER THE SURFACE OF EXPOSED ROOTS OF PROTECTED TREES. A SOIL AUGER WILL BE USED TO BORE UNDER ROOT SYSTEMS UTILITIES ARE TO BE INSTALLED WITHIN 10' OF A PROTECTED TREE.

WHEN THE CRITICAL ROOT ZONE WILL BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS. ROOTS CAN BE PRUNED BY UTILIZING TRUNCHING EQUIPMENT DESIGNED FOR THIS PURPOSE OR BY HAND DIGGING A TRENCH AND TRUNCHING ROOTS WITH A PRUNING SAW. THE PRUNING SAW SHOULD BE USED AT AN ANGLE OTHER THAN 90 DEGREES LOCATED WITHIN A CRITICAL ROOT ZONE THAT WILL BE IMPACTED BY CONSTRUCTION MUST BE PRUNED TO A DEPTH OF 18 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS THAN 18 INCHES FROM THE EXISTING GRADE. WHEN UNDERGROUND UTILITY LINES ARE TO BE INSTALLED WITHIN THE CRITICAL ROOT ZONE, THE ROOT PRUNING SAW MAY BE WAIVED IF THE UTILITY LINES ARE INSTALLED VIA TUNNELING OR DIRECTIONAL DRILLING AS OPPOSED TO OPEN TRENCHING. A LICENSED CERTIFIED ARBORIST SHALL PROVIDE PRUNING.

17. PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETENESS. THE CONTRACTOR SHALL REPLACE PLANTS, DEAD, UNHEALTHY, DYING OR DAMAGED THROUGH THE LOSS OF BRANCHES AND/OR FOLIAGE. LAWN'S THAT ARE NOT IN GOOD CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REPAIRED UNTIL A GOOD LAWN RESULTS. IT IS UNDERSTOOD THAT THE OWNER SHALL ASSUME RESPONSIBILITY FOR WATERING ALL PLANT MATERIAL AND LAWN AREA BEGINNING WITH THE DATE OF SUBSTANTIAL COMPLETENESS.

1. THE LANDSCAPE CONTRACTOR SHALL FURNISH FROM THEIR SOURCE A GOOD CLEAN, NATIVE SOIL WHICH SHALL MEET THE APPROVAL OF THE OWNER'S REPRESENTATIVE. THIS SOIL SHALL BE USED FOR THE PLANTING MIXTURE AS FOLLOWS:

- A. ONE PART COMPOST/MANURE PLANTING MIX, TOPSOIL OR APPROVED EQUAL
- B. ONE PART NATIVE SOIL

2. SOILS WITHIN PLANTING AREAS MUST BE SUITABLE FOR PROPOSED PLANTED MATERIAL & SOD WITH REGARD TO: pH, SOIL TEXTURE, SOIL STRUCTURE, AND SEASONAL HIGH WATER TABLE. THE CONTRACTOR SHALL ANALYZE EXISTING SOILS LOCATED IN PROXIMITY TO PROPOSED PLANT MATERIAL, AND BE RESPONSIBLE TO AMEND THE SOIL TO OBTAIN ESSENTIAL REQUIREMENTS NECESSARY FOR THE ESTABLISHMENT AND GROWTH OF PLANT LIFE. LANDSCAPE CONTRACTOR TO PROVIDE SOILS REPORT AND APPROPRIATE RECOMMENDATIONS PRIOR TO INSTALLATION TO OWNER'S REPRESENTATIVE FOR REVIEW. FAILURE TO PROVIDE REPORT MAY RESULT IN PLANT MATERIAL BEING REJECTED BY OWNER'S REPRESENTATIVE, AND REPLACED AT NO COST TO OWNER.
3. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO PLANTING, WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, POOR PLANTING SOIL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS.

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STORE #TBD

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ERLANGER, KY

33410 TURKEYFOOT ROAD
FRI ANGER KY 41018

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Project Number: 765034

Scale: 1"=30'

Drawn By:	FAR
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Checked By: _____

Checked By: _____ 95
Date: 05/09/2005

Date: 05/20/2025

Issue: NOT FOR CONSTRUCTION

Drawing Title:

PLANTING DETAILS AND NOTES

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